



State of Rhode Island
Department of Administration / Division of Purchases
One Capitol Hill, Providence, Rhode Island 02908-5855
Tel: (401) 574-8100 Fax: (401) 574-8387

ADDENDUM # 2

8/01/13

RFQ #7479364

Title: CCRI Flanagan Campus Library Interior Renovations

Submission Deadline: NOTE CHANGE

From: August 05, 2013 @ 10:00 AM (ET)

To:

August 20, 2013 @ 2:00 PM (ET)

Per the issuance of ADDENDUM #2 the following are noted:

- Revised Bid Form
- Addendum #2 Clarifications to Project Manual and items presented at Pre-Bid
- Section: 09 84 33
- Drawings
- Pre-Bid Attendance Sheet (inadvertently omitted from addendum #1)

Offers must be delivered to One Capitol Hill, Suite 201 Purchasing, Providence RI 02908.

Interested parties should monitor this website, on a regular basis, for any additional information that may be posted.

Gary P. Mosca,
Buyer



"NON-MANDATORY" PRE-BID CONFERENCE SIGN IN SHEET

BID NUMBER:	7479364
BID TITLE:	CCRI FLAINAGAN CAMPUS LIBRARY INTERIOR RENOVATIONS
PRE-BID DATE AND TIME:	Wednesday, July 17, 2013 @ 9:00 AM (ET)

Purchasing Representative:	Gary P. Mosca
Pre-bid START TIME:	9:05
Pre-bid END TIME:	9:45

COMPANY NAME	COMPANY REPRESENTATIVE	ADDRESS	CONTACT E-MAIL	CONTACT PHONE NUMBER	CONTACT FAX NUMBER	PROPOSAL SUBMITTED FOR Purchasing Use Only
Kimbealy Const.	Michael Debois	176 Eddie Dowling Highway, Southfield MI	mdebois@kimbealyconstruction.com	401-666-1450	401-765-3352	
RGB	Cyndi Gerlach	50 Holden St. MA	cgerlach@gbnet.com	401-272-1730	273-7152	
Nadeau Corp	Loretta Nadeau	727 S. Affleck Rd. MA	LN@NADEAU.CORP	508-399-6776		
Care Technology LLC	Belinda Wong	42 Moshassuck Road, Hines In, RI 02881	bwong@caretechnology.biz	401-728-3235		
STAND CORPORATION	Tony Tomasz	105 Pennsylvania Ave Wrentham, RI 02898	TOMTASZ@STANDCORP.COM	401-751-8420	401-732-3710	
E.W. BUNMAN	BEN PESAZURO	33 VERMONT AVE WARWICK, RI 02884	estimating@ewbunman.com	401-738-5400	401-732-9545	
MPT construction Co. Inc.	Russell Vibranti	E 20th Street Johnston, RI 02899	RVIBRANTI@MPTCONSTRUCTION.COM	401-272-4741	401-272-4761	
State of RI	GARY MOSCA	One Capital Hill	gary.mosca@purch.state.ri.gov	401-574-8124		
Accri	Lisa Fontes		lfontes@accri.edu	641-9159		
NAPCO, INC	Dave Wildgoose	76 Grandview Dr	Ldwildgoose@gmail.com		732-1770	

SECTION 00 04 10 - BID FORM

Date: July 9, 2013 REVISED July 26, 2013

TO: Community College of Rhode Island
Knight Campus, 400 East Avenue
Warwick, Rhode Island, 02886

Project: Interior Renovations and Alterations to CCRI Flanagan Campus Library
Community College of Rhode Island
1762 Louisquisset Pike
Lincoln, Rhode Island 02865

Submitted by: _____
(include address, _____
tel. & FAX nos., _____
and license no.) _____

1. BID

Having examined the Place of The Work and all matters referred to in the Instructions to Bidders, and in the Contract Documents prepared by The Robinson Green Beretta Corporation, Architect for the above mentioned project, we, the undersigned, hereby offer to enter into a Contract to perform the Work for the Sum of:

_____ (\$ _____.)
(written, and numerically)

We have included the required Bid security as required by the Invitation to Bid.

2. ALTERNATES

Alternates are specified in Division 1 of the specifications. For Changing the Work to be performed under this Contract to that Work described in the Alternatives, the undersigned agrees to modify his Base Bid by the following sums; which remain in effect for sixty (60) calendar days after the date of the Agreement.

- Alternate No. 1 ADD \$ _____
- Alternate No. 2 ADD \$ _____
- Alternate No. 3 ADD \$ _____
- Alternate No. 4 ADD \$ _____

(Note: Cross out either word "Add" or "Deduct", whichever is not applicable. Cross out Alternative Numbers for which no request for an Alternative price has been issued by the Architect.)

3. UNIT PRICES

The undersigned agrees that the following unit prices are applicable for additional or deductive work from that as specified or shown on the Contract Documents. The prices herein established are for additional work and include the net cost plus overhead and profit.

The following Unit Prices will constitute basis for additions to Contract as may be required during the life of the Contract: (Contractor to fill-in.)

<u>ITEM</u>	<u>UNIT</u>	<u>COST</u>
Furnish and install fire-stopping at fire rated walls	L.F.	_____
Furnish and install fire-stopping at penetrations	EA.	_____
Furnish and install FRT Blocking	BDFT	_____
Furnish and install Sealant	L.F.	_____

4. ACCEPTANCE

This offer shall be open to acceptance and is irrevocable for ninety (90) days from the bid closing date. If this bid is accepted by the Owner within the time period stated above, we will:

- Execute the Agreement subject to compliance with required State regulatory agency approvals as described in the Invitation to Bid.
- Furnish the required bonds in compliance with amended provisions of the Instructions to Bidders.
- Commence work within seven days after receipt of a Purchase Order from the Rhode Island State Division of Purchases.

If this bid is accepted within ninety (90) days, and we fail to commence the Work, or we fail to provide the required Bonds, the security deposit shall be forfeited as damages to the Owner by reason of our failure, limited in amount to the lesser of the face value of the security deposit or the difference between this bid and the bid upon which a Contract is signed.

In the event our bid is not accepted within ninety (90) days, the required security deposit shall be returned to the undersigned, in accordance with the provisions of the Instructions to Bidders; unless a mutually satisfactory arrangement is made for its retention and validity for an extended period of time.

5. CONTRACT TIME

The undersigned agrees to substantially complete the project not later than the dates indicated in the Summary of the Work - Section 011000.

The undersigned also agrees to totally complete (final completion) the project within 30 days after the date of substantial completion.

6. ADDENDA

The following Addenda have been received. The modifications to the Bid Documents noted below have been considered and all costs are included in the Bid Sum.

- Addendum No. 1, dated _____.
- Addendum No. 2, dated _____.
- Addendum No. 3, dated _____.
- Addendum No. 4, dated _____.

7. REQUIREMENT FOR LICENSE NUMBER

In compliance with the requirements of the Rhode Island General Laws, Section 5-65-23, my Rhode Island license number for the work to be performed by this firm as a prime contractor is:
License Number: _____

8. BID FORM SIGNATURE(S)

(Bidder's name)

By: _____

Title: _____

Corporate Seal:

END OF SECTION 00 04 10

TO ALL BIDDERS OF RECORD:

This Addendum forms a part of the Contract Documents and modifies the Drawings and Project Manual as hereinafter indicated.

There exist duplicate specifications on the State Purchasing website. Disregard all of the following individual specifications, they are part of the **6058 Project Manual**, 23,906 KB file.

- 001000
- 002000
- A701-1997
- A310-2010
- A101-2007
- A312-2010
- A201-2007
- 008000
- 008200
- 011000
- 012200
- 012300
- 012500
- 012900
- 013300
- 014000
- 014200
- 016000
- 017300
- 017700
- 017820
- 017830
- 024120
- 055213
- 061000
- 064000
- 078400
- 079200
- 092220
- 092900
- 096510
- 099123
- TOC
- Project Manual Cover Sheet

SPECIFICATIONS:

1. SECTION 000410 – BID FORM: replace with attached modified Bid Form
2. SECTION 008000 – SUPPLEMENTARY CONDITIONS

- A. Page 4, modify Article 7.7.1.5 to read as follows:

"7.1.5. The reasonable (as stated herein) allowance for overhead and profit combined, included in the total cost to the Owner, shall be based upon the following schedule:

For the Contractor, for any work performed by his own forces, 10% of the cost;

For each Sub-Contractor involved, work performed by his own forces, 10% of the cost;

For the Contractor, for work performed by his sub-contractor, 5% of the amount due the sub-contractor."

- B. Page 5, delete 8.3.4 in its entirety.

3. SECTION 011000 – SUMMARY OF THE WORK

- A. Page 1, Section 1.3, paragraph A; replace with the following:

"A. The scope of work on this project includes, but is not limited to, interior renovations and alterations to the CCRI Flanagan Campus Library. Renovations will consist of, but not be limited to: new walls, finishes, and handrails. The Library will be occupied. Renovations cannot interrupt the daily operations of the library. **Assume all work to be performed once the library is closed.** The current schedule for library's daily operations is as follows:

Monday –Thursday 8:00am-8:00pm

Friday 8:00am-4:00pm

Saturday 10:00am – 2:00pm

Sunday: closed.

All existing furniture, fixtures and equipment (FF&E) to remain within the library. The contractor will be responsible for protecting all FF&E, and existing finishes to remain, during renovations. The contractor will be responsible for replacing any item(s) damaged due to renovation work. All renovation work must be complete within 150 days from receipt of state purchase order or within a time that is mutually agreed to by CCRI."

- B. Page 2:

- a. Item 1.3.F: under item 3 add: "4. Inspections "
- b. Item 1.3.G: delete this sentence in its entirety; add the following:
"G. Any operations which may disturb the functions of the library and or adjacent areas are to be scheduled during CCRI non-operating hours."
- c. Add item 1.3.N: "N. Project is to be completed 150 days after award of the purchase order."
- d. Add item 1.3.O: "O. Vendor to conduct weekly Project progress meetings and issue minutes by the next Business day. Meetings will be held on site at the Flanagan Campus. The location and schedule for the progress meeting will be arranged with the CCRI Physical Plant".

- C. Page 3, Section 1.4

1. Add the following under A.2.:

"3. Venders bidding are to furnish OSHA 10 certified workers and submit OSHA 10 cards with their bid.

4. Venders are responsible for complying with any and all OSHA Safety Guidelines and are required to submit a safety manual for approval by CCRI prior to the start of any Campus work."

2. Add the following after D.:

"E. Public Safety

1. Vender is responsible for ensuring the Public safety during all phases of the Project. Vender is to supply any and all but not limited to safety signage, barriers, tape, PPE, etc.

F. Identification

1. Before starting any work, all workers and Subs are to obtain and submit a current BCI and State approved picture ID. CCRI reserves the right to deny campus access to any worker based on information provided on the submitted BCI.

G. Sign-In

1. All workers are to sign in daily at the operations office at the Flanagan Campus."

- D. Page 4, under item 1.5.H, add the following: "I. Provide final as-built CAD drawings including PDF electronic versions as well as (3) full size drawings."

- E. Page 6, Section 1.9, under paragraph C. Contractor's duties:

1. Eliminate item number 3.
2. Modify item number 5 to read: "5. The Contractor shall endeavor to work with the Owner in their schedule to accommodate the work. It is expected that work will include, but not be limited to: acoustical wall panels. The Contractor is expected to receive, unload and store these products on site. Installation to be per manufacturer recommendations."

- F. Page 7, Section 1.10, add the following under item H:

- "I. All Venders are responsible at all times during and at the completion of the Project, to ensure that construction areas are kept in a clean, safe and acceptable condition. All Project debris is to be removed off site on a daily basis.

- J. Venders are to provide at their cost all necessary trash bins and exterior waste containers. Location of any exterior waste containers is to be approved in advance by CCRI."

4. SECTION 012300 - ALTERNATES, page 2, modify Alternate No. 1 to read as follows:

"Alternate No. 1: Furnish sound absorbing wall panels.

4. Base Bid: Contractor to install sound absorbing wall panels per specifications section 09 84 33 furnished by the Owner.
5. Alternate: Contractor to furnish sound absorbing wall panels.

5. SECTION 078400 - FIRESTOPPING

- A. Delete line 1.3.A in its entirety.

6. SECTION 092900 – GYPSUM BOARD

- A. Page 7, Section 3.5, paragraph D; add the following:

6. Level 4: At panel surfaces that will be exposed to view unless otherwise indicated.
 - a. Primer and its application to surfaces are specified in other Division 09 Sections.

7. SECTION 099123 – INTERIOR PAINTING; page 2, item 2.1.B, change 'Brown University Project Manager' to 'RGB'.

8. SECTION 098433 – SOUND ABSORBING WALL PANEL. Add this specification section to the Project Manual.

- a. This contractor is to provide all labor and equipment to install Owner furnished sound absorbing wall panels in accordance with the drawings and specifications.
- b. See Alternate Section 012300 (item 4 above) concerning submission of a quotation to furnish sound absorbing wall panels in accordance with specification section 098433.

DRAWINGS:

1. A104 – FLOOR PLANS: replace with attached drawing A104, dated July 23, 2013.
2. A700 – INTERIOR ELEVATIONS: replace with attached drawing A700, dated July 23, 2013.
3. A801 – DETAILS: replace with attached drawing A801, dated July 23, 2013.

ANSWERS TO QUESTIONS SENT TO RI STATE PURCHASING:

Question: Alternate #1 is all work to be done third shift. You are asking for a Unit Price per hour for 3rd shift. Should this unit price be ignored seeing this is an alternate? However, if you want a unit price it would vary by trade.

Response: *Refer to modified summary of work noted above. Attached is the modified Bid Form.*

Question: Please furnish reflected ceiling plan for the acoustical cloud panels.

Response: *Acoustical cloud panels will be furnished and installed by the Owner. This work is not to be included in the Bid.*

Question: Unit Price for fire stopping; should this be for each penetration, not by SF?

Response: *Refer to modified Bid Form.*

Question: I was notified by the acoustical wall panel manufacturer that the width of the panel exceeds their material sizes.

Response: *Acoustical wall panels will be furnished by the Owner and installed by this contractor, see specification section 098433 attached. See Alternate Section concerning providing a quote to furnish these panels.*

Question: Please clarify contractor's duties if any for "Owner-Furnished Products" (para 1.9.C.4).

Response: *Please read above modifications to Summary of the Work.*

Question: I had asked to qualify if you really intend the finishing of the board to be 2 coat veneer plaster

Response: *Provide level 4 finish to all exposed gypsum board as noted above.*

Question: Can we use 12 inch CMU insulated block instead of 8 inch and 4 inch block?

Response: *There is no CMU work on this project. Refer to wall types on drawing A801.*

(THIS COMPLETES ADDENDUM NO. 2)

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes: Acoustical wall panels and installation components, complete.

1.2 REFERENCES

- A. American Society for Test Methods (ASTM):
1. E 84 Test Method for Surface Burning Characteristics of Building Materials
 2. C 423 Sound Absorption and Sound Absorption Coefficients by the Reverberation Room Method
 3. E795 Standard Practices for Mounting Test Specimens During Sound Absorption Tests
- B. Scientific Certification Systems (SCS):
1. Environmental Certification Services, Recycled Content Standard

1.3 SUBMITTALS

- A. Submittals: Submit listed submittals in accordance with Conditions of the Contract and Division 01 Submittal Procedures Section
- B. Product Data: Submit manufacturer's technical data and installation instructions for each type of acoustical wall panel required.
- C. Samples: Submit 12 inch X 12 inch samples of specified acoustical wall panel featuring specified surface material, edge and corner detail and method of attachment.
- D. Certifications: Submit manufacturer's written product certification that all furnished wall panels meet or exceed the specification requirements. Include certified copies of tests specified when required.
- E. Shop Drawings: Submit elevation drawings showing wall panel layout, methods of attachment and installation details.

1.4 QUALITY ASSURANCE

- A. Single-Source Responsibility: Provide acoustical panel units and installation components by a single manufacturer whose published product literature clearly indicates compliance of acoustical wall panels with specified requirements.
- B. Applicator: Installation by skilled applicators with no less than three years of documented experience installing acoustical wall panels of the types and extent specified for the project.
- C. Fire Performance Characteristics:
1. Surface Burning Characteristics: All panel components have a Class 1/A fire rating when tested in accordance with ASTM E 84.
- D. Mock-ups:
1. Install onsite mock-up equivalent to 2 SF of wall panels in an area designated

by the Architect. Replace unacceptable panels.

2. Approved mock-up panels will be used as the standard of performance for the project and will be incorporated into the finished project.

1.6 PRODUCT DELIVERY, STORAGE, AND HANDLING

- A. Delivery: Deliver acoustical wall panels to the project site in unbroken and undamaged original factory packaging and clearly labeled with the manufacturer's identification label, quality or grade.
- B. Storage: Store materials in a clean, dry, climate controlled storage area within temperature and humidity ranges recommended by manufacturer. Provide protection from damage and exposure to harmful environmental conditions.
- C. Acclimatization: Before installing acoustical wall panels, allow panels to acclimatize to room temperature and humidity.
- D. Handling: Carefully handle acoustical wall panels to avoid soiling and damage.

1.7 PROJECT CONDITIONS

- A. Environmental Conditions:
 1. Do not apply acoustical treatments when surface and ambient temperatures are outside the temperature ranges required by the wall panel manufacturer.
 2. Do not install acoustical panels until wet work such as concrete, plastering and painting is done and building is completely enclosed.
 3. Provide continuous ventilation and heating facilities to maintain substrate surface and ambient temperatures above 60 degrees F and not more than 85 degrees F unless required otherwise by manufacturer's instructions.
 4. Maintain constant recommended temperature and humidity for at least 48 hours prior to, throughout the installation period and continuously after panel installation completion.
 5. Field Measurements: Check and verify actual wall surfaces by accurate field measurements before fabrication.

1.8 WARRANTY

- A. Submit manufacturer's 1 year written warranty against manufacturing defects from date of substantial completion.

1.9 MAINTENANCE

- A. Replacement Materials: Provide full-size units equal to 5 percent of each type of acoustical wall panel installed for maintenance purposes. Furnish replacement materials from the same production run as installed materials. Protect material with clearly marked packaging indicating product identification and project location.

PART 2 - PRODUCTS

2.1 MANUFACTURERS

- A. Acoustical Wall Panels: Sound Designs™, Koroseal Acoustical Treatments, Koroseal Interior Products Group, a Division of RJF International Corporation, Fairlawn, OH.
- B. Contact local representative: PEGGY ASHTON Phone: 401-474-8487

2.2 ACOUSTICAL WALL PANELS

A. Acoustical Wall Panels:

1. Product: Sound Designs™, Koroseal Acoustical Treatments
2. Surface Material: Provide material fully laminated to the fiberglass core face, edges and returned no less than 1-1/2" to the back of the panel to provide fully finished edges and tailored corners.
3. Provide panel surface materials as described below:

Textile Surface Finish: Crypton Fabric
 Pattern: TBD Color: TBD
 Fabric Content: Crypton
 Fabric Width: 54" Wide
 Fabric Width:

Koroseal Digital Graphics Surface Finish: Digital Ground: Photo TBD

Acoustical Perforation: 18 % open area

- a. Total Weight: 21ounces per linear yard.
- b. Backing Weight: 2.7 ounces per linear yard.
- c. Fabric backing and content: Poly-Cotton Osnaburg.
- d. Digital Image: Owner/Architect to provide files of digital image for production. Provide Raster images (JPEG, TIFF, PSD, PNG) with a minimum DPI of 75 at final/actual size or Vector Files (EPS, AI including all fonts or "convert type to outlines") at actual size or proportion there off- no smaller than 25% size.

OR

Arbor Series Wood Veneer Wallcoverings:

- a. Species: Maple
 - b. Cut and Figure: Curly Maple
 - c. Matching: _Book
 - d. Sheet Size: 36" Wide
 - e. Trim: Wood - Maple
4. Core Composition: Whispertone® Wallboard. 6-7 pound per cubic foot fiberglass insulation containing a minimum 25% post consumer recycled glass as a percent of glass weight as certified by Scientific Certification Systems.
 5. Core surface: Plain, fiberglass mat face or tackable 1/8" 16 PCF fiberglass board
 6. Panel Thickness: Select: 1 inch
 7. NRC rating: Minimum .70 when tested in accordance with ASTM C 423, using Select: Type A Mounting.
 8. Panel Dimensions: Size and shape as indicated on Drawings A701
 9. Edge Profile: Select: Square edge hardened with water-based resin hardener.

SOUND ABSORBING WALL PANEL

10. Surface Burning Characteristics: All panel components have a Class 1/A fire rating when tested in accordance with ASTM E 84.
11. Mounting Method: Select: Moveable

B. Acoustical Wall Panel Accessories:

1. Panel Anchors: Install Acoustical Wall Panels with RotoFast Snap-on stabilized, polypropylene plastic snap-on panel anchors.
2. Adhesive: Manufacturer's recommended construction adhesive applied to back of wall panels.
3. Mechanical Clips: Two-part z-clips with one part mechanically fastened to the panel in factory applied resin hardened attachment area and the other part fastened to the wall.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Site Conditions: Do not proceed with installation until space is conditioned to meet manufacturer's recommendations and all wet work is complete.

3.2 PREPARATION

- A. Measure each wall area and establish layout of acoustical treatments.
- B. Assure equal border widths at opposite edges of each wall.
- C. Coordinate panel layout with mechanical and electrical fixtures.

3.3 INSTALLATION

- A. Install wall panels by attaching the panels to an existing wall per the manufacturers written instructions, as shown on Drawings.
- B. Attach wall panels to the wall using RotoFast snap-on panel anchors
- C. All field fabricated edge details will be finished in accordance with manufacturer's written Installation instructions.

3.4 CLEAN-UP COMPLETION

- A. Clean exposed surfaces of acoustic wall panels that have become soiled during handling and installation according to manufacturer's recommended cleaning instructions.
- C. Replace damaged panels.
- D. Upon completion of the work, remove surplus materials, rubbish and debris resulting from the wallcovering installation. Leave areas in neat clean and orderly condition.

END OF SECTION

© RGB 2012
 CONSTRUCTION



Drawn by: TJC/IRM
 Checked by: CJC

PLEASE PRINT ON COPIED, REPRODUCED, OR PAINTED. THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PROJECTS.

ADDITIONAL: 41, JULY 23, 2008

RGB
 RICHARD G. BROWN
 ARCHITECTS
 1762 LOUISQUISSET PIKE
 LINCOLN, RI 02881
 TEL: 401-779-1700
 FAX: 401-779-1701
 WWW.RGBARCHITECTS.COM

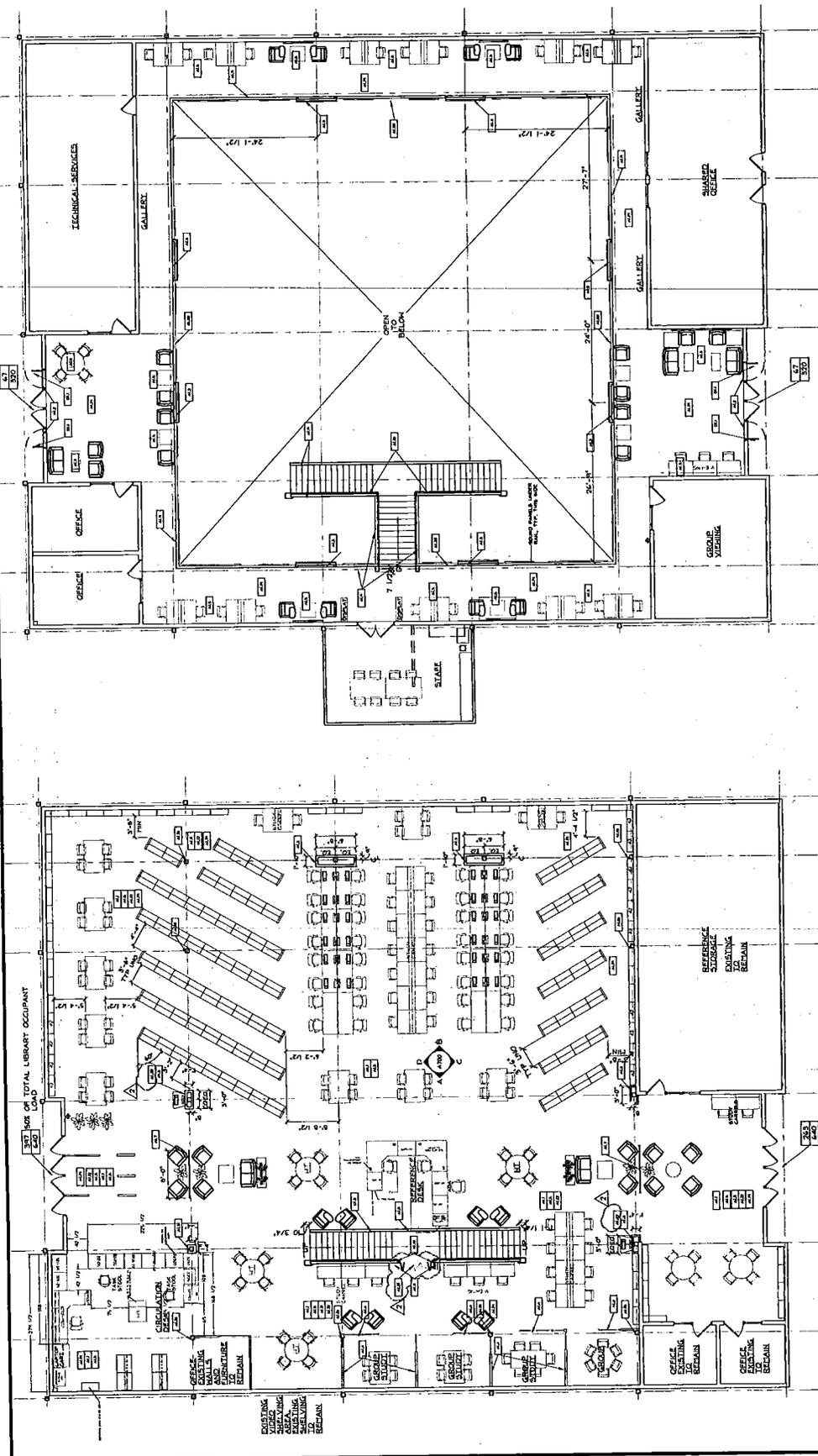
CCRI
 Flanagan Campus
 Library
 FF&E
 Renovations
 1762 Louisquisset Pike
 Lincoln, RI
 02881

ISSUED FOR
 CONSTRUCTION

Project No: 1762
 Date: DECEMBER 13, 2012

FLOOR PLANS

Project Number: 1762
 Drawing: A104
 Sheet



MEZZANINE FLOOR PLAN SCHEME FOUR
 Scale: 1/8" = 1'-0"

OCCUPANT LOADS:
 DESK AREA OCCUPANT LOAD 100/105 - 107 P
 LIBRARY STACKS 1,175/57,000 - 19 P
 READING ROOMS 2,226/59,200 - 23 P
 OFFICES 1,000/20,000 - 20 P
 MEET ROOMS 100/1,000 - 10 P
 LIBRARY ASSEMBLY 1,330/37,175 - 27 P
 COMP ROOMS 100/2,000 - 20 P

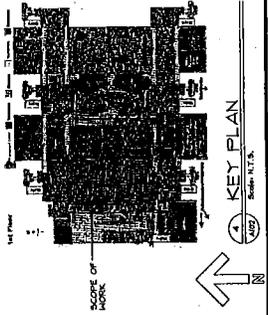
DRESS EGRESS LOAD INDICATOR:
 THROUGH DOWN/STAIR OCCUPANT LOAD OF 100/2,000

GENERAL NOTES:
 1. FINISHES, WALLS AND FURNITURE (BY OTHERS), INDICATED ON THE DRAWINGS. THE EXISTING CONDITIONS INFORMATION SHOWN ON THE DRAWINGS IS FOR INFORMATION ONLY. FIELD REQUIREMENTS, NOT ALL EXISTING CONDITIONS WILL BE SHOWN. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE INDICATED 4/8" ANCHOR.
 2. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, CONNECTIONS AND ANCHORS. VERIFY ALL CONDITIONS AND REPORT DISCREPANCIES BEFORE STARTING CONSTRUCTION.
 3. BUILDING CODE REQUIRED SAFETY PROTECTION TO PROTECT WORKERS.
 4. CONTRACTOR TO VERIFY ALL EXISTING WORK TO REMAIN DURING CONSTRUCTION.
 5. CONTRACTOR TO VERIFY ALL EXISTING WORK TO REMAIN DURING CONSTRUCTION.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE BUILDING CODE.

WORK NOTES:
 A1.01. CALCULATION AND REFERENCE DECK AREA TO BE REMOVED BY CONTRACTOR.
 A1.02. REMOVE ALL EXISTING FLOORING AND FINISHES.
 A1.03. REMOVE ALL EXISTING PARTITION WALLS AND PARTITIONS.
 A1.04. REMOVE ALL EXISTING COLUMNS AND BEAMS.
 A1.05. REMOVE ALL EXISTING DOORS AND WINDOWS.
 A1.06. REMOVE ALL EXISTING STAIRS AND STAIRWAYS.
 A1.07. REMOVE ALL EXISTING ELEVATORS AND ELEVATOR SHAFTS.
 A1.08. REMOVE ALL EXISTING MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS.
 A1.09. REMOVE ALL EXISTING CEILING SYSTEMS.
 A1.10. REMOVE ALL EXISTING LIGHT FIXTURES AND LIGHTING SYSTEMS.
 A1.11. REMOVE ALL EXISTING FURNITURE AND FIXTURES.
 A1.12. REMOVE ALL EXISTING SIGNAGE AND MARKINGS.
 A1.13. REMOVE ALL EXISTING PAINT AND COATINGS.
 A1.14. REMOVE ALL EXISTING GROUNDWORK AND EXTERIOR FINISHES.
 A1.15. REMOVE ALL EXISTING EXTERIOR WALLS AND FOUNDATIONS.
 A1.16. REMOVE ALL EXISTING EXTERIOR ROOFING AND CLADDING.
 A1.17. REMOVE ALL EXISTING EXTERIOR DOORS AND WINDOWS.
 A1.18. REMOVE ALL EXISTING EXTERIOR STAIRS AND STAIRWAYS.
 A1.19. REMOVE ALL EXISTING EXTERIOR ELEVATORS AND ELEVATOR SHAFTS.
 A1.20. REMOVE ALL EXISTING EXTERIOR MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS.
 A1.21. REMOVE ALL EXISTING EXTERIOR CEILING SYSTEMS.
 A1.22. REMOVE ALL EXISTING EXTERIOR LIGHT FIXTURES AND LIGHTING SYSTEMS.
 A1.23. REMOVE ALL EXISTING EXTERIOR FURNITURE AND FIXTURES.
 A1.24. REMOVE ALL EXISTING EXTERIOR SIGNAGE AND MARKINGS.
 A1.25. REMOVE ALL EXISTING EXTERIOR PAINT AND COATINGS.
 A1.26. REMOVE ALL EXISTING EXTERIOR GROUNDWORK AND EXTERIOR FINISHES.
 A1.27. REMOVE ALL EXISTING EXTERIOR WALLS AND FOUNDATIONS.
 A1.28. REMOVE ALL EXISTING EXTERIOR ROOFING AND CLADDING.
 A1.29. REMOVE ALL EXISTING EXTERIOR DOORS AND WINDOWS.
 A1.30. REMOVE ALL EXISTING EXTERIOR STAIRS AND STAIRWAYS.
 A1.31. REMOVE ALL EXISTING EXTERIOR ELEVATORS AND ELEVATOR SHAFTS.
 A1.32. REMOVE ALL EXISTING EXTERIOR MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS.
 A1.33. REMOVE ALL EXISTING EXTERIOR CEILING SYSTEMS.
 A1.34. REMOVE ALL EXISTING EXTERIOR LIGHT FIXTURES AND LIGHTING SYSTEMS.
 A1.35. REMOVE ALL EXISTING EXTERIOR FURNITURE AND FIXTURES.
 A1.36. REMOVE ALL EXISTING EXTERIOR SIGNAGE AND MARKINGS.
 A1.37. REMOVE ALL EXISTING EXTERIOR PAINT AND COATINGS.
 A1.38. REMOVE ALL EXISTING EXTERIOR GROUNDWORK AND EXTERIOR FINISHES.
 A1.39. REMOVE ALL EXISTING EXTERIOR WALLS AND FOUNDATIONS.
 A1.40. REMOVE ALL EXISTING EXTERIOR ROOFING AND CLADDING.
 A1.41. REMOVE ALL EXISTING EXTERIOR DOORS AND WINDOWS.
 A1.42. REMOVE ALL EXISTING EXTERIOR STAIRS AND STAIRWAYS.
 A1.43. REMOVE ALL EXISTING EXTERIOR ELEVATORS AND ELEVATOR SHAFTS.
 A1.44. REMOVE ALL EXISTING EXTERIOR MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS.
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 A1.100. REMOVE ALL EXISTING EXTERIOR ROOFING AND CLADDING.

FIRST FLOOR PLAN SCHEME FOUR
 Scale: 1/8" = 1'-0"

WORK NOTES:
 A1.01. CALCULATION AND REFERENCE DECK AREA TO BE REMOVED BY CONTRACTOR.
 A1.02. REMOVE ALL EXISTING FLOORING AND FINISHES.
 A1.03. REMOVE ALL EXISTING PARTITION WALLS AND PARTITIONS.
 A1.04. REMOVE ALL EXISTING COLUMNS AND BEAMS.
 A1.05. REMOVE ALL EXISTING DOORS AND WINDOWS.
 A1.06. REMOVE ALL EXISTING STAIRS AND STAIRWAYS.
 A1.07. REMOVE ALL EXISTING ELEVATORS AND ELEVATOR SHAFTS.
 A1.08. REMOVE ALL EXISTING MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS.
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KEY PLAN
 Scale: 1/8" = 1'-0"

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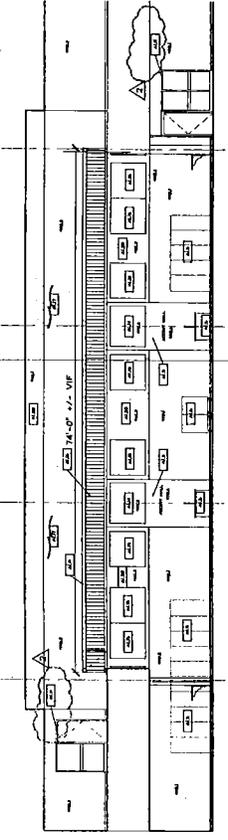
Drawn By: TAD, GMA
 Checked By: GLO
 Description: FINISH STUD. CORNER PANELS, HALLS, AND STAIRS AT
 1762 LOUISQUISSET PIKE
 LINCOLN, MI 48115-1708

ADDDENDUM #1, JULY 23, 2013

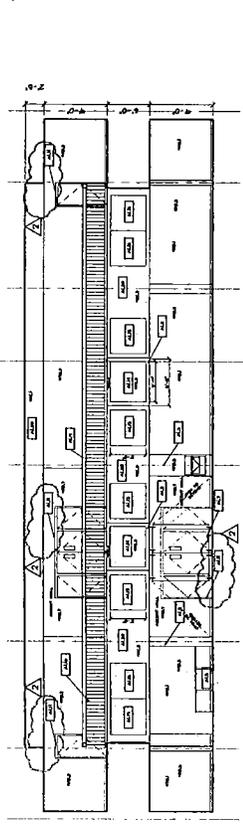
RCB
 Architecture - Engineering / Interior Design
 1762 LOUISQUISSET PIKE
 LINCOLN, MI 48115-1708
 TEL: 517.487.1708
 FAX: 517.487.1709
 WWW.RCB-ARCH.COM

CCRI
 Flanagan Campus
 Library
 FF&E
 Renovations
 1762 Louississet Pike
 Lincoln, MI
 ISSUED FOR
 CONSTRUCTION
 Issue Date: 12/10/12
 Sheet Count: 12/202
 Sheet Number: INTERIOR ELEVATIONS

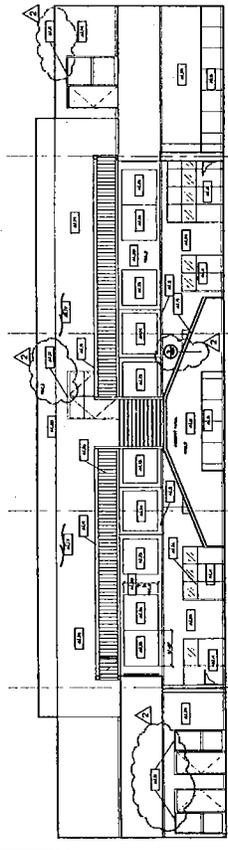
Project Name: CCRI
 Drawing No: A700
 Date: 12/10/12



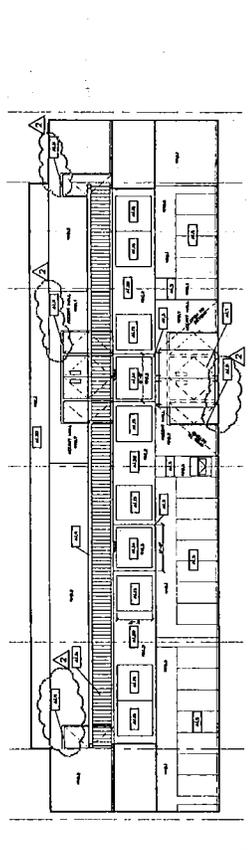
ELEVATION B
 Scale: 1/8" = 1'-0"



ELEVATION D
 Scale: 1/8" = 1'-0"



ELEVATION A
 Scale: 1/8" = 1'-0"



ELEVATION C
 Scale: 1/8" = 1'-0"

FINISH MATERIAL SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	STYLE NAME / NUMBER	COLOR NAME / NUMBER	FINISH / REMARKS
98A.1	ACQUISTICAL PANEL	ARTISTROG	626 SONORCAPES HILL CANOPY	WHITE	NIC BATING, 90
98A.2	ACQUISTICAL PANEL	ARTISTROG	626 SONORCAPES VALLET CANOPY	WHITE	NIC BATING, 90
98C.1	PAINT	SHERWIN WILLIAMS	TRAVELER	TRAVELER	TRAVELER
98C.2	PAINT	SHERWIN WILLIAMS	TRAVELER	TRAVELER	TRAVELER
97D.1	PAINT	SHERWIN WILLIAMS	TRAVELER	TRAVELER	TRAVELER
97D.2	PAINT	SHERWIN WILLIAMS	TRAVELER	TRAVELER	TRAVELER
97D.3	PAINT	SHERWIN WILLIAMS	TRAVELER	TRAVELER	TRAVELER
97D.4	PAINT	SHERWIN WILLIAMS	TRAVELER	TRAVELER	TRAVELER
97D.5	PAINT	SHERWIN WILLIAMS	TRAVELER	TRAVELER	TRAVELER
97D.6	PAINT	SHERWIN WILLIAMS	TRAVELER	TRAVELER	TRAVELER
97D.7	PAINT	SHERWIN WILLIAMS	TRAVELER	TRAVELER	TRAVELER
97E.1	ACQUISTICAL HALL PANEL	KOROSEAL	3-PORT 2000/01	BEAR GRASS FACE	PERFORATED
97E.2	ACQUISTICAL HALL PANEL	KOROSEAL	3-PORT 2000/01	BEAR GRASS FACE	PERFORATED
97E.3	ACQUISTICAL HALL PANEL	KOROSEAL	3-PORT 2000/01	BEAR GRASS FACE	PERFORATED
97F.1	ACQUISTICAL HALL PANEL	KOROSEAL	3-PORT 2000/01	BEAR GRASS FACE	PERFORATED
98B.1	RUBBER HALL BASE	JOHNSONITE	5"		5" RUB. HALLS

WORK NOTES

XXX NOTES WITH ARROWS INDICATE SPECIFIC AREAS FOR ITEMS
 XXX NOTES WITHOUT ARROWS INDICATE ENTIRE DOOR AND HARDWARE
 D11 RING DOOR AND HARDWARE
 D12 STAR
 D13 EXISTING CARPET TO REMAIN - PROTECT AS REQUIRED
 A11 REMOVE EXISTING CARPET TO REPAIR - PROVIDE PER CITY HALL FOR APPROVED TYPES
 A12 REMOVE EXISTING CARPET TO REPAIR - PROVIDE PER CITY HALL FOR APPROVED TYPES
 A13 REMOVE EXISTING CARPET TO REPAIR - PROVIDE PER CITY HALL FOR APPROVED TYPES
 A14 REMOVE EXISTING CARPET TO REPAIR - PROVIDE PER CITY HALL FOR APPROVED TYPES
 A15 REMOVE EXISTING CARPET TO REPAIR - PROVIDE PER CITY HALL FOR APPROVED TYPES

REVISION AND REFERENCE DESIGNS

A16 REMOVE EXISTING CARPET TO REPAIR - PROVIDE PER CITY HALL FOR APPROVED TYPES
 A17 REMOVE EXISTING CARPET TO REPAIR - PROVIDE PER CITY HALL FOR APPROVED TYPES
 A18 REMOVE EXISTING CARPET TO REPAIR - PROVIDE PER CITY HALL FOR APPROVED TYPES
 A19 REMOVE EXISTING CARPET TO REPAIR - PROVIDE PER CITY HALL FOR APPROVED TYPES
 A20 REMOVE EXISTING CARPET TO REPAIR - PROVIDE PER CITY HALL FOR APPROVED TYPES
 A21 REMOVE EXISTING CARPET TO REPAIR - PROVIDE PER CITY HALL FOR APPROVED TYPES
 A22 REMOVE EXISTING CARPET TO REPAIR - PROVIDE PER CITY HALL FOR APPROVED TYPES

REVISION AND REFERENCE DESIGNS

A23 REMOVE EXISTING CARPET TO REPAIR - PROVIDE PER CITY HALL FOR APPROVED TYPES
 A24 REMOVE EXISTING CARPET TO REPAIR - PROVIDE PER CITY HALL FOR APPROVED TYPES
 A25 REMOVE EXISTING CARPET TO REPAIR - PROVIDE PER CITY HALL FOR APPROVED TYPES

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 Construction

Drawn by: TAD, RHM
 Checked by: CLG
 Revised on:



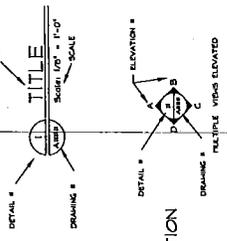
ADDENDUM #1, JULY 25, 2015

Project:
 CCRI
 Flanagan Campus
 Library
 FF&E
 Renovations
 1762 Louississet Pike
 Lincoln, IL
 Issued for
 CONSTRUCTION

Marked On: DECEMBER 11, 2012
 Detail:
 DETAILS

Project Number: 058
 Drawing No: A801
 Sheet

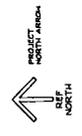
SYMBOLS



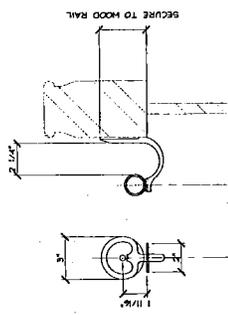
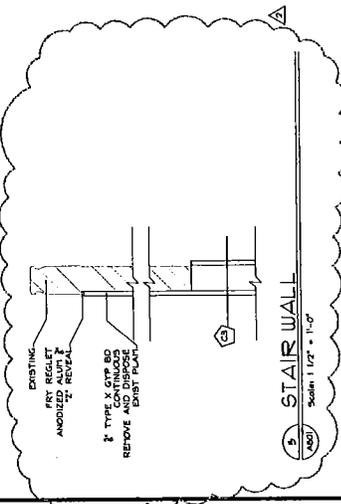
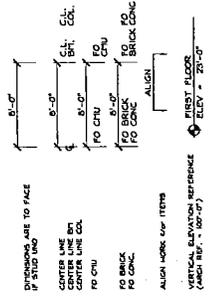
INTERIOR ELEVATION

WORK NOTES

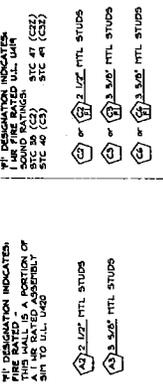
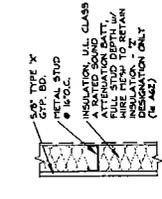
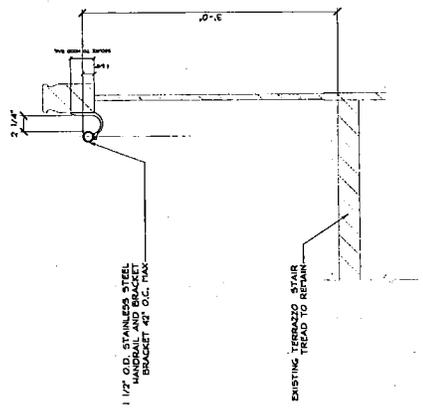
- NOTES WITHOUT ARCH INDICATE SPECIFIC AREA WORK ITEMS
- NOTES WITH ARCH INDICATE SPECIFIC AREA WORK ITEMS



DIMENSIONS



NOTE: CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS FOR REVIEW AND APPROVAL. VERIFY IN FIELD ALL DIMENSIONS.



INTERIOR WALL CONSTRUCTION TYPES

