



Request for Quote

STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS
 ONE CAPITOL HILL
 PROVIDENCE RI 02908

BUYER: Ohara 2nd, John F
 PHONE #: 401-574-8125

CREATION DATE : 27-APR-12
 BID NUMBER: 7449669
 TITLE: Restoration and Cleanup of Property at the Big River Management Area DOA
 BID CLOSING DATE AND TIME:30-MAY-2012 02:00:00

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 DOA CONTROLLER
 ONE CAPITOL HILL, 4TH FLOOR
 SMITH ST
 PROVIDENCE, RI 02908
 US

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 DOA-PLANNING
 ONE CAPITOL HILL - 3RD FLOOR
 PROVIDENCE, RI 02908
 US

Requisition Number: 1265645

Line	Description	Quantity	Unit	Unit Price	Total
1	BIDDER IS REQUIRED TO PROVIDE A BID SURETY IN THE FORM OF A BID BOND. OR A CERTIFIED CHECK PAYABLE TO THE STATE OF RHODE ISLAND, IN THE AMOUNT OF A SUM NOT LESS THAN FIVE PERCENT (5%) OF THE BID PRICE. BID SURETY MUST BE ATTACHED TO THE BID FORM THE SUCCESSFUL BIDDER WILL ALSO BE REQUIRED TO FURNISH PERFORMANCE AND LABOR AND PAYMENT BONDS AT TIME OF TENTATIVE CONTRACT AWARD. Cost for Phase 1 BRMA Restoration and Cleanup of property	1 00	Each		
2	Cost for Phase 2 BRMA Restoration and Cleanup of property	1 00	Each		
3	Total Cost for Phase 1 and 2 BRMA Restoration and Cleanup of property	1 00	TOTAL		

Delivery: _____

Terms of Payment: _____

It is the Vendor's responsibility to check and download any and all addenda from the RIVIP. This offer may not be considered unless a signed RIVIP generated Bidder Certification Cover Form is attached and the Unit Price column is completed. The signed Certification Cover Form must be attached to the front of the offer.

Contract Terms and Conditions

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Terms and Conditions

BID STANDARD TERMS AND CONDITIONS

TERMS AND CONDITIONS FOR THIS BID

RIVIP INFO - BID SUBMISSION REQUIREMENTS

It is the Vendor's responsibility to check and download any and all addenda from the RIVIP. This offer may not be considered unless a signed RIVIP generated Bidder Certification Cover Form is attached and the Unit Price column is completed. The signed Certification Cover Form must be attached to the front of the offer. When delivering offers in person to One Capitol Hill, vendors are advised to allow at least one hour additional time for clearance through security checkpoints.

START DATE

STARTING DATE _____ NO. OF WORKING DAYS REQUIRED FOR COMPLETION

SURETY REQUIREMENTS

BIDDER IS REQUIRED TO PROVIDE A BID SURETY IN THE FORM OF A BID BOND, OR A CERTIFIED CHECK PAYABLE TO THE STATE OF RHODE ISLAND, IN THE AMOUNT OF A SUM NOT LESS THAN FIVE PERCENT (5%) OF THE BID PRICE. BID SURETY MUST BE ATTACHED TO THE BID FORM. THE SUCCESSFUL BIDDER WILL ALSO BE REQUIRED TO FURNISH PERFORMANCE AND LABOR AND PAYMENT BONDS AT TIME OF TENTATIVE CONTRACT AWARD.

WAGE REQUIREMENTS

BIDDERS ARE ADVISED THAT ALL PROVISIONS OF TITLE 37 CHAPTER 13 OF THE GENERAL LAWS OF RHODE ISLAND APPLY TO THE WORK COVERED BY THIS REQUEST, AND THAT PAYMENT OF THE GENERAL PREVAILING RATE OF PER DIEM WAGES AND THE GENERAL PREVAILING RATE FOR REGULAR, OVERTIME, AND OTHER WORKING CONDITIONS EXISTING IN THE LOCALITY FOR EACH CRAFT, MECHANIC, TEAMSTER, OR TYPE OF WORKMAN NEEDED TO EXECUTE THIS WORK IS A REQUIREMENT FOR BOTH CONTRACTORS AND SUBCONTRACTORS. THE PREVAILING WAGE TABLE MAY BE OBTAINED AT THE RI DIVISION OF PURCHASES HOME PAGE BY INTERNET at www.purchasing.state.ri.us SELECT "INFORMATION" AND THEN SELECT "PREVAILING WAGE TABLE". THE STATE OF RHODE ISLAND USES THE GENERAL DECISION NUMBER RI20100001. PRINTING THE ENTIRE DOCUMENT AVERAGES APPROXIMATELY ONE MINUTE PER PAGE - YOU MAY WANT TO PRINT ONLY THE PAGES APPLICABLE TO YOUR BID. BIDDERS NOTE: IN THE EVENT THIS BID SPECIFIES PRICE OFFERS ON A TIME-AND-MATERIALS BASIS, i.e., AN HOURLY RATE, ANY OR ALL BIDS SUBMITTED IN AN AMOUNT LESS THAN THE PREVAILING RATE IN EFFECT FOR THE WORK COVERED BY THIS REQUEST AS OF THE DATE OF BID ISSUANCE SHALL BE REJECTED BY THE DIVISION OF PURCHASES.

INSPECTION REQUIREMENTS

BIDDERS ARE RESPONSIBLE FOR INSPECTION OF EQUIPMENT AND/OR LOCATION, TAKING MEASUREMENTS* WHEN REQUIRED, AND MAKING THEMSELVES AWARE OF THE TOTAL REQUIREMENT BEFORE SUBMITTING A BID. *MEASUREMENTS PROVIDED WITH ANY BID

ARE FOR REFERENCE PURPOSES AND ARE NOT GUARANTEED TO BE COMPLETELY ACCURATE.

INSURANCE REQUIREMENTS

AN INSURANCE CERTIFICATE IN COMPLIANCE WITH PROVISIONS OF ITEM 31 (INSURANCE) OF THE GENERAL CONDITIONS OF PURCHASE IS REQUIRED FOR COMPREHENSIVE GENERAL LIABILITY, AUTOMOBILE LIABILITY, AND WORKERS' COMPENSATION AND MUST BE SUBMITTED BY THE SUCCESSFUL BIDDER(S) TO THE DIVISION OF PURCHASES PRIOR TO AWARD THE INSURANCE CERTIFICATE MUST NAME THE STATE OF RHODE ISLAND AS CERTIFICATE HOLDER AND AS AN ADDITIONAL INSURED. FAILURE TO COMPLY WITH THESE PROVISIONS MAY RESULT IN REJECTION OF THE OFFEROR'S BID. ANNUAL RENEWAL CERTIFICATES MUST BE SUBMITTED TO THE AGENCY IDENTIFIED ON THE PURCHASE ORDER FAILURE TO DO SO MAY BE GROUNDS FOR CANCELLATION OF CONTRACT

NOTE: IF THIS BID COVERS CONSTRUCTION, SCHOOL BUSING, HAZARDOUS WASTE, OR VESSEL OPERATION, APPLICABLE COVERAGES FROM THE FOLLOWING LIST MUST ALSO BE SUBMITTED TO THE DIVISION OF PURCHASES PRIOR TO AWARD: * PROFESSIONAL LIABILITY INSURANCE (AKA ERRORS & OMISSIONS) - \$1 MILLION OR 5% OF ESTIMATED PROJECT COST, WHICHEVER IS GREATER. * BUILDER'S RISK INSURANCE - COVERAGE EQUAL TO FACE AMOUNT OF CONTRACT FOR CONSTRUCTION. * SCHOOL BUSING - AUTO LIABILITY COVERAGE IN THE AMOUNT OF \$5 MILLION * ENVIRONMENTAL IMPAIRMENT (AKA POLLUTION CONTROL) - \$1 MILLION OR 5% OF FACE AMOUNT OF CONTRACT, WHICHEVER IS GREATER. * VESSEL OPERATION - (MARINE OR AIRCRAFT) - PROTECTION & INDEMNITY COVERAGE REQUIRED IN THE AMOUNT OF \$1 MILLION

LICENSE REQUIREMENTS

VENDOR (OWNER OF COMPANY) IS RESPONSIBLE TO COMPLY WITH ALL LICENSING OR STATE PERMITS REQUIRED FOR THIS TYPE OF SERVICE. A COPY OF LICENSE/PERMIT SHOULD BE SUBMITTED WITH THIS BID. IN ADDITION TO THESE LICENSE REQUIREMENTS, BIDDER, BY SUBMISSION OF THIS BID, CERTIFIES THAT ANY/ALL WORK RELATED TO THIS BID, AND ANY SUBSEQUENT AWARD WHICH REQUIRES A RHODE ISLAND LICENSE(S), SHALL BE PERFORMED BY AN INDIVIDUAL(S) HOLDING A VALID RHODE ISLAND LICENSE

BIG RIVER MANAGEMENT AREA - RESTORATION AND CLEANUP

CONTACT: RHODE ISLAND WATER RESOURCES BOARD – KENNETH BURKE, P E 401-222-4890 OR ROMEO MENDES, P E , 401-222-6103

INTRODUCTION: THE STATE WATER RESOURCES BOARD (WRB) IS RESPONSIBLE FOR RESIDENTIAL PROPERTIES LOCATED IN THE BIG RIVER MANAGEMENT AREA (BRMA). SIXTEEN PROPERTIES WITHIN THE MANAGEMENT AREA HAVE BEEN VACATED, TEN (10) PROPERTIES ARE EITHER COMPLETELY OR PARTIALLY DEMOLISHED AND SIX (6) PROPERTIES ARE INTACT THE WATER RESOURCES BOARD IS SEEKING TO SECURE A GENERAL CONTRACTOR TO COMPLETE PHASE I RESTORATION/SECURITIZATION AT FOURTEEN (14) SITES AND PHASE II DEMOLITION/ RESTORATION AT SIX (6) SITES.

IT IS THE WATER RESOURCES BOARD'S INTENT TO RETURN EACH SITE TO A GRADED, VEGETATED AND SECURED FIELD BY SAFELY REMOVING REMAINING STANDING STRUCTURES AND REMOVING AND DISPOSING OF ALL DEBRIS IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL RULES AND REGULATIONS. LUMP SUM BIDS TO ACCOMPLISH EACH PHASE OF THE WORK ARE REQUIRED TO BE PROVIDED. **DEMOLITION PERMITS FOR ALL BUT ONE SITE ARE IN PLACE. THE WATER RESOURCES BOARD WILL OBTAIN THE REMAINING DEMOLITION PERMIT PRIOR TO AWARD.**

SCOPE OF WORK:

RAZE ANY PRESENTLY EXISTING STRUCTURES TAKING IN ACCOUNT THE TOTAL AMOUNT OF MATERIAL REQUIRED TO BE REMOVED, TRANSPORTED AND PROPERLY DISPOSED OF AT AN APPROPRIATE OFF-SITE FACILITY. IN ADDITION TO DEMOLITION AND DEBRIS REMOVAL/DISPOSITION, RESTORATION OF EACH SITE INCLUDING COLLAPSE OF FOUNDATION, IF PRESENT, BACKFILL OF EXCAVATION, CESSPOOLS AND DRY WELLS, IF NECESSARY, FINAL GRADING AND SEEDING AND LASTLY, BLOCKING ACCESS TO INDIVIDUAL LOTS WITH BOULDERS AND REPAIR/RELOCATION OF ACCESS GATES IS REQUIRED. THE SITE LOCATIONS ARE AS FOLLOWS:

<u>PHASE I</u>		<u>PHASE II</u>
319 HOPKINS HILL ROAD	104 ARROWHEAD ROAD	241 NOOSENECK HILL ROAD
148 CONGDON MILL ROAD	787 HARKNEY HILL ROAD	212 NOOSENECK HILL ROAD
631B YARD POND ROAD	10A KITTS CORNER ROAD	148 DIVISION ROAD
74 DIVISION ROAD	DIVISION ROAD, GATE 1	379 HOPKINS HILL ROAD
10 TOWN HALL ROAD	DIVISION ROAD, GATE 2	80 DIVISION ROAD
296 HOPKINS HILL ROAD	NEW LONDON TURNPIKE	612 NOOSENECK HILL ROAD
53 ARROWHEAD ROAD	BURNT SAWMILL ROAD	

PROVIDE ALL LABOR, MATERIALS & EQUIPMENT FOR DEMOLITION & REMOVAL OF STRUCTURES, CONTENTS, FOUNDATIONS AS DESCRIBED ABOVE AND BACKFILL OF CESSPOOLS AND DRY WELLS.

LOCATE ON-SITE DRINKING WATER WELL, WHETHER ABOVE OR BELOW GRADE, PULL PUMP/EXPOSED CASING, SEAL OPENING BY GROUTING OR CEMENT AND BACKFILL AS REQUIRED

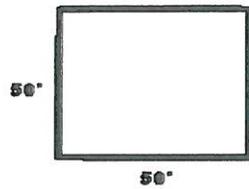
INSURE ALL SHEDS, OUTBUILDINGS AND DEBRIS ARE REMOVED FROM INDIVIDUAL LOTS & USING CLEAN FILL OBTAINED FROM OWNER'S PROPERTY, LEVEL DISTURBED AREAS TO EXISTING TERRAIN WHEREVER REQUIRED

SITE SPECIFIC ACTIVITIES ARE PROVIDED ON THE ATTACHED SHEETS.

Phase 1, Site 1 - 319 Hopkins Hill, West Greenwich:



Layout:



*Not to scale (location and measurement information is approximate)

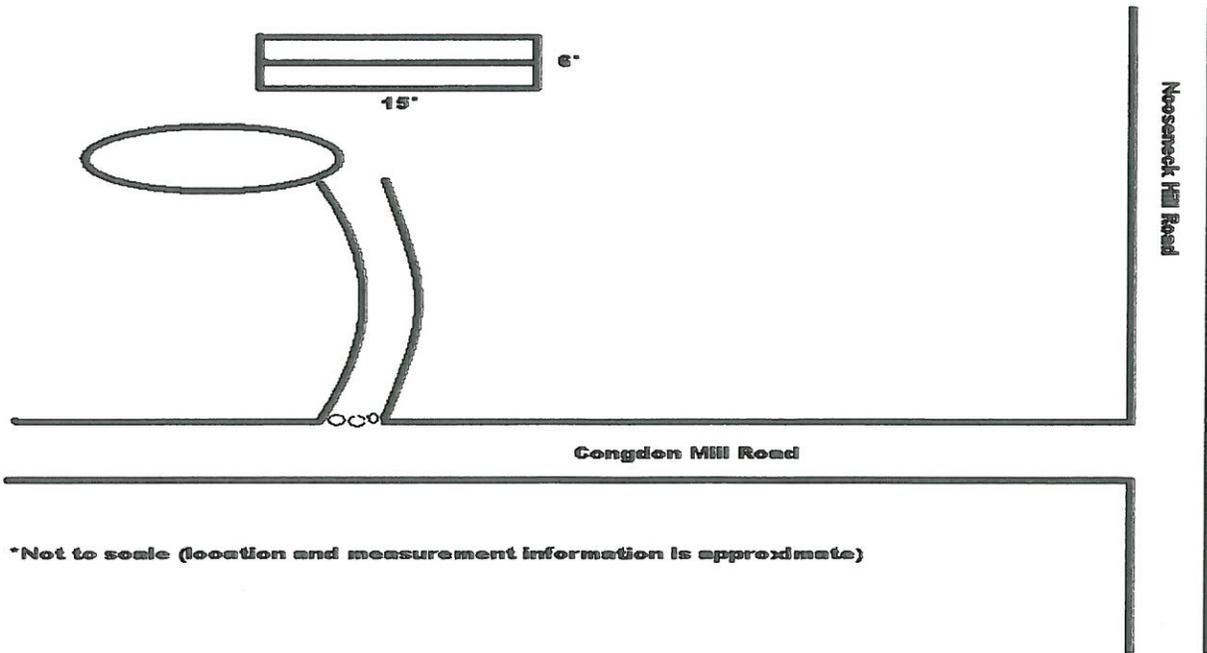
Scope:

1. Loam and seed 50' X 50' disturbed area
2. Secure 35' driveway entrance and adjoining 35' open area along Hopkins Hill Road with boulders

Phase 1, Site 2 - 148 Congdon Mill Road, West Greenwich:



Layout:



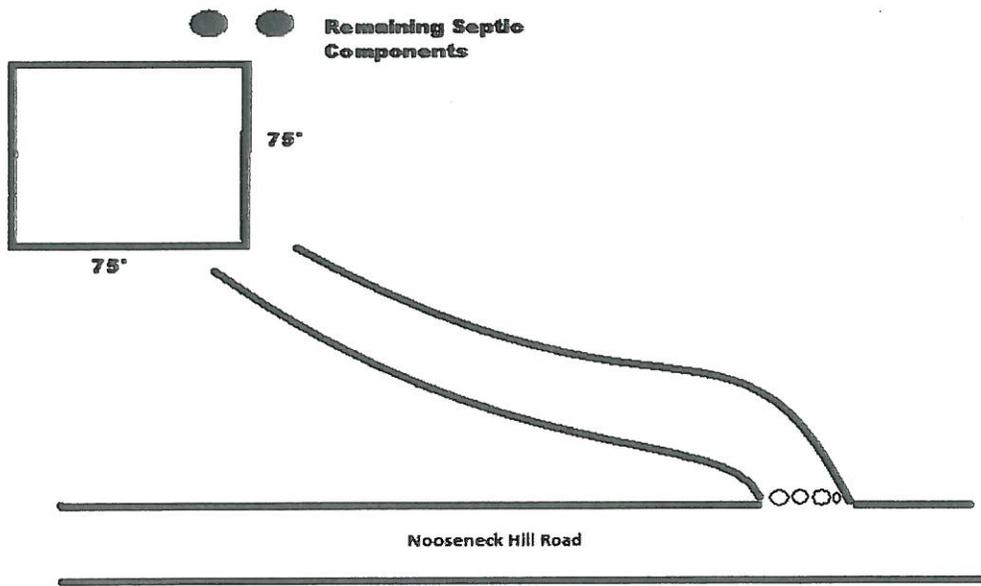
Scope:

1. Temporarily remove boulders at driveway entrance to access site
2. Demolish standing shed structure, remove and properly dispose of all debris
3. Loam and seed disturbed areas
4. Replace boulders at driveway entrance upon completion of work

Phase 1, Site 3 - 631B Yard Pond Road, West Greenwich:



Layout:



***Not to scale (location and measurement information is approximate)**

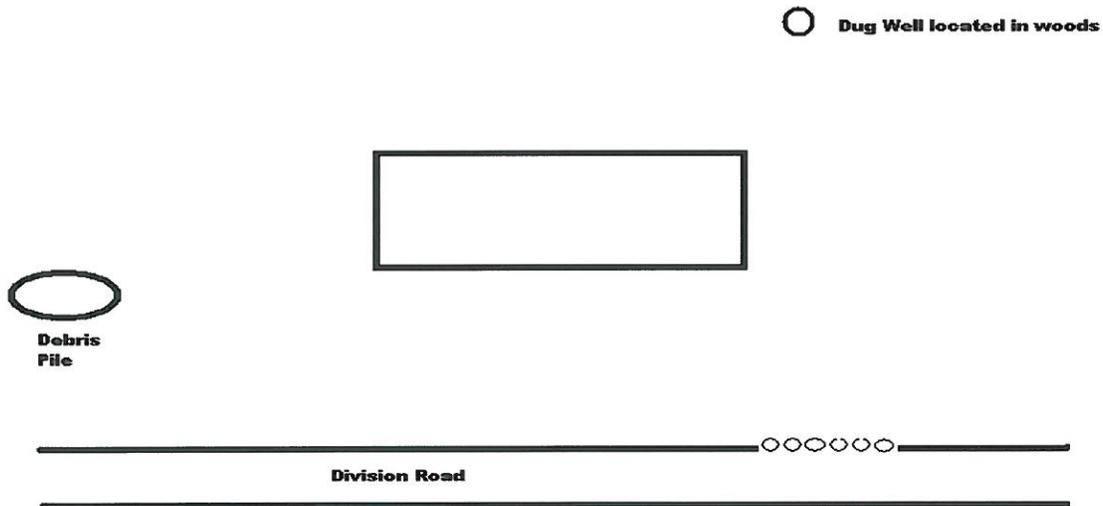
Scope:

1. Temporarily remove boulders at driveway entrance to access site
2. Remove and properly dispose of remaining septic components and backfill any excavation
3. Fine grade 75' X 75' disturbed area to existing terrain, loam and seed
4. Replace boulders at driveway entrance upon completion of work

Phase 1, site 4 - 74 Division Road, West Greenwich:



Layout:



***Not to scale (location and measurement information is approximate)**

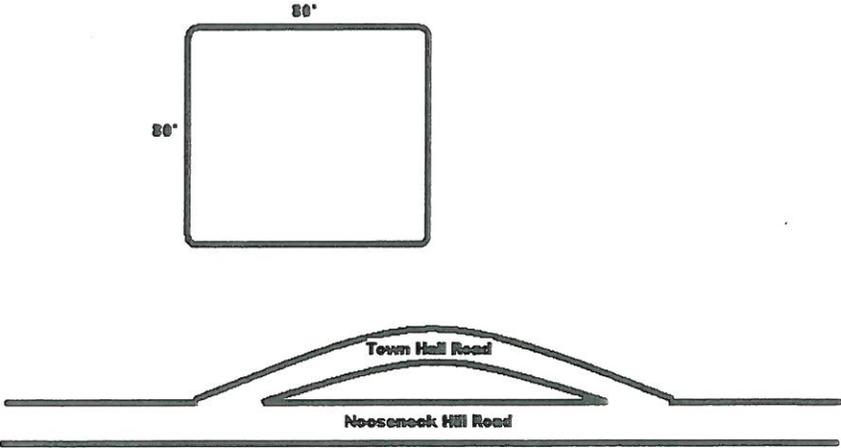
Scope:

1. Temporarily remove boulders at driveway entrance to access site
2. Properly abandon drinking water well, backfill opening with additional fill
3. Remove and dispose of debris pile
4. Loam and seed all disturbed areas
5. Replace boulders at driveway entrance upon completion of work

Phase 1, site 5 - 10 Town Hall Road, West Greenwich:



Layout:



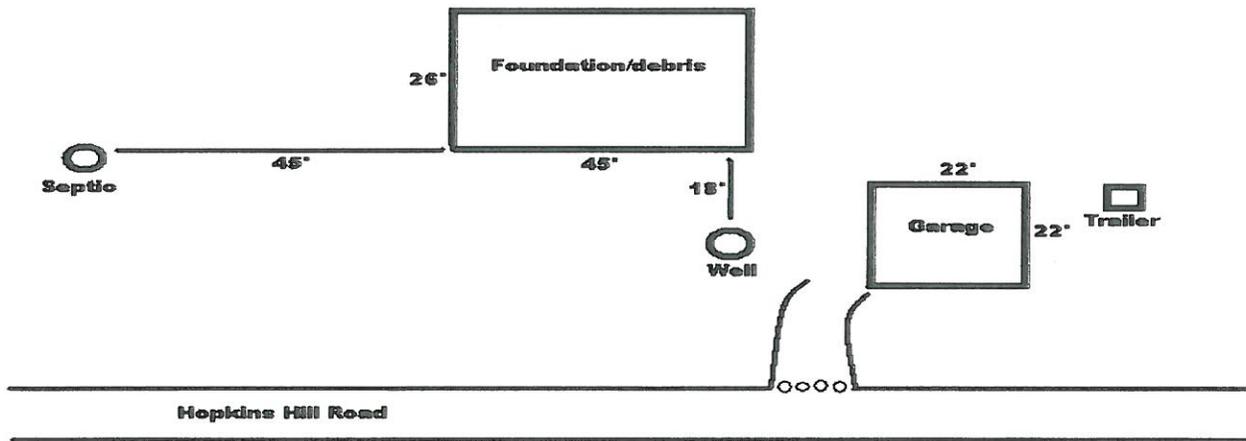
*Not to scale (location and measurement information is approximate)

Scope:

- 1. Loam and seed 80' X 80' disturbed area



Layout:



**Not to scale (location and measurement information is approximate)*

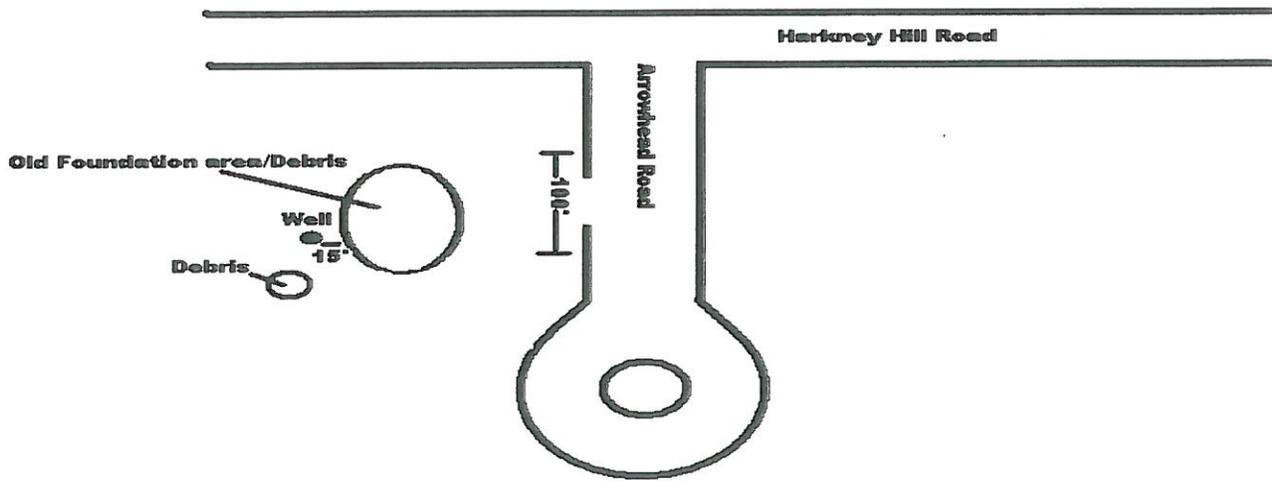
Scope:

1. Temporarily remove boulders at driveway entrance to access site
2. Demolish standing garage structure, trailer and other small structures, remove materials from within foundation, properly dispose of all debris and collapse foundation into excavation
3. Properly abandon drinking water well and septic, backfill all excavations/openings with additional fill
4. Grade to existing terrain, loam and seed disturbed areas
5. Replace boulders at driveway entrance upon completion of work

Phase 1, Site 7 - 53 Arrowhead Road, Coventry:



Layout:



***Not to scale (location and measurement information is approximate)**

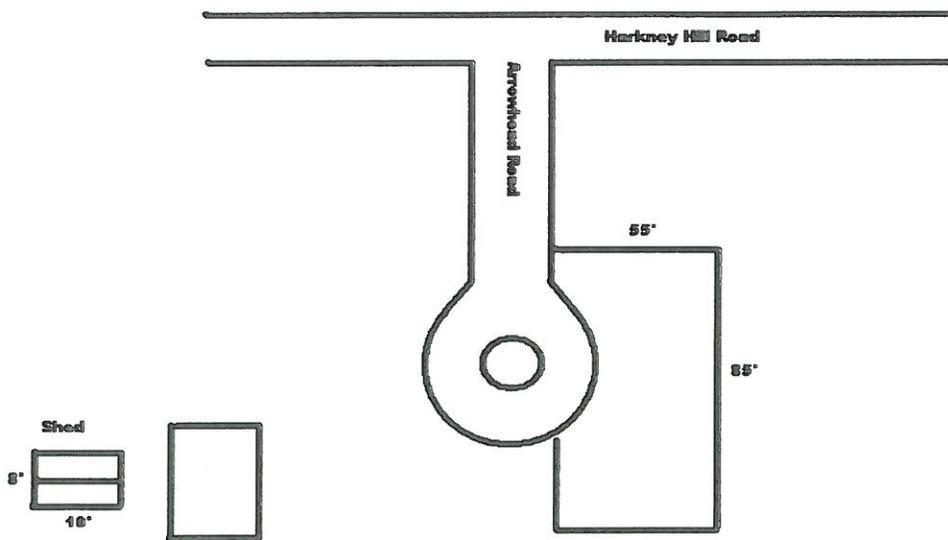
Scope:

1. Remove and properly dispose of remaining debris including that found within foundation
2. Properly abandon drinking water well and backfill same along with all other excavations/openings with additional fill
3. Grade to existing terrain, loam and seed disturbed areas
4. Secure entrance area to site of approximately 100' with boulders

Phase 1, site 8 - 104 Arrowhead Road, Coventry:



Layout:



*Not to scale (location and measurement information is approximate)

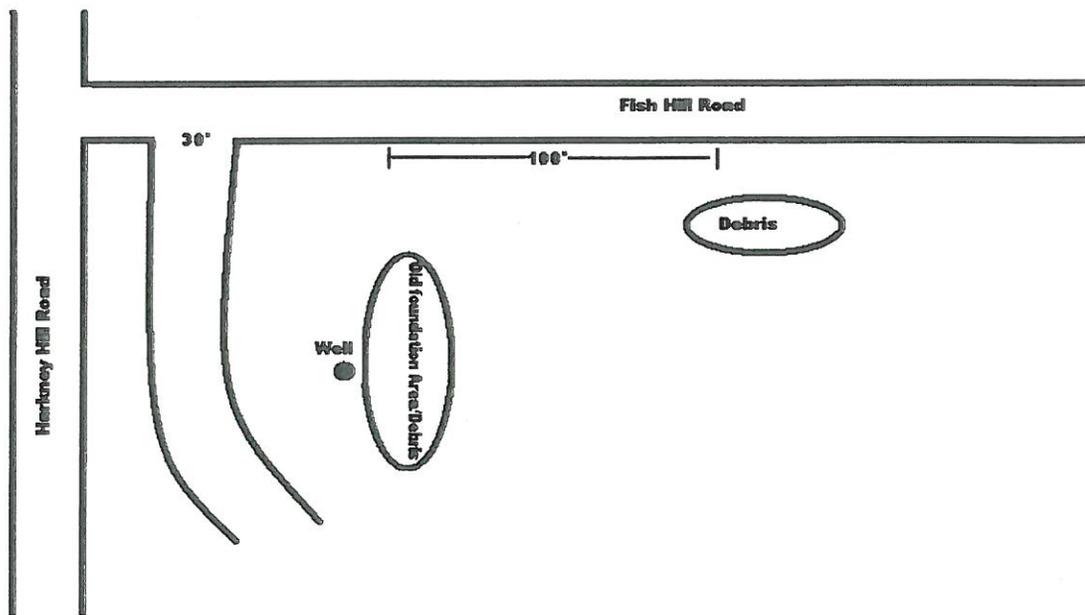
Scope:

1. Demolish standing outhouse structure, remove and properly dispose of all debris
2. Grade distributed areas to existing terrain and loam and seed same
3. Loam and seed 55' X 85' disturbed area

Phase 1, Site 9 - 787 Harkney Hill Road, Coventry:



Layout:



*Not to scale (location and measurement information is approximate)

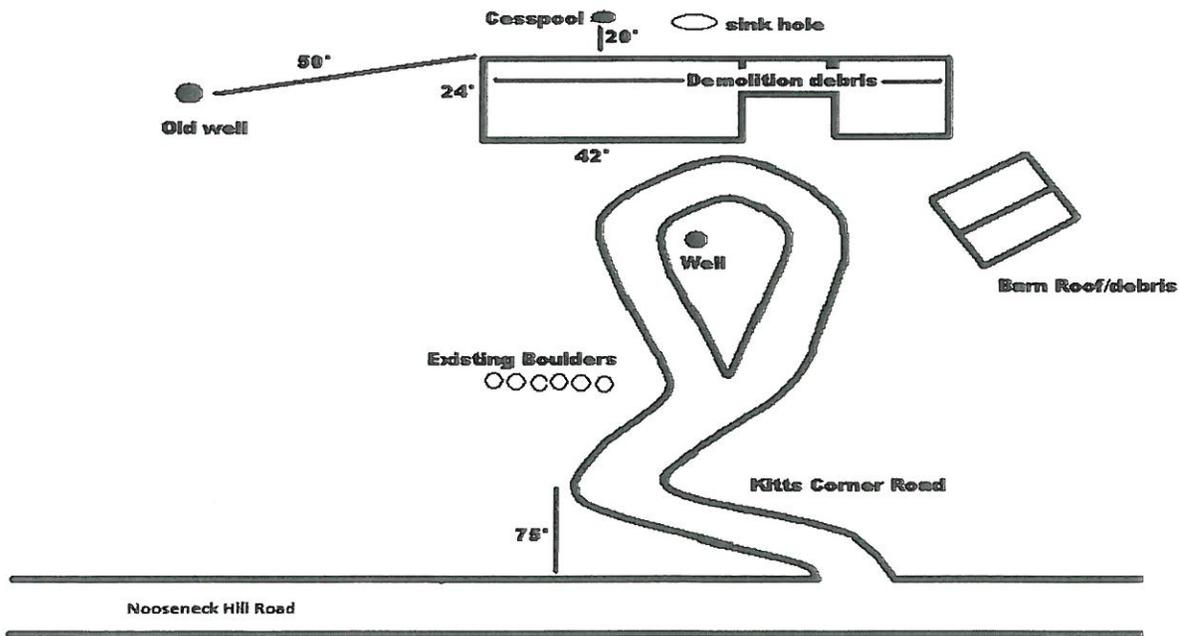
Scope:

1. Remove and properly dispose of remaining debris
2. Properly abandon drinking water well
3. Grade to existing terrain, loam and seed disturbed areas
4. Secure 130' along Arrowhead Road with boulders

Phase1, Site 10 - 10 A Kitts Corner Road, West Greenwich:



Layout:



*Not to scale (location and measurement information is approximate)

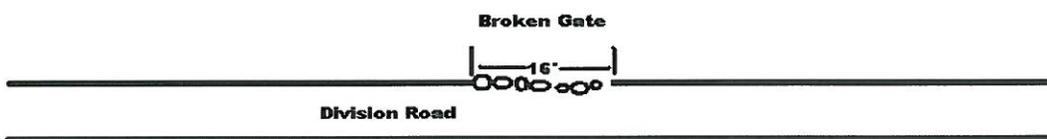
Scope:

1. Remove and properly dispose of all debris, collapse foundation into excavation
2. Properly abandon drinking water wells, backfill all excavations including cesspool and sink hole with additional fill
3. Grade to existing terrain, loam and seed disturbed areas
4. Place existing boulders across Kitts Corner Road approximately 75' from Nooseneck Hill

Phase 1, Site 11 – Division Road, West Greenwich:



Layout:



***Not to scale (location and measurement information is approximate)**

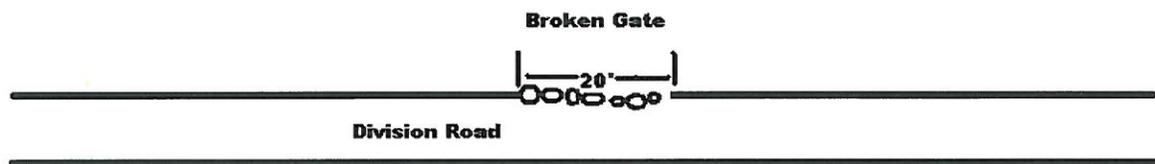
Scope:

1. Remove Boulders, transport and block access site .25 miles north
2. Retrieve three (3) metal gates from DEM Fish and Wildlife Office, South Kingstown
3. Remove broken metal gate and replace with one of three available gates

Phase2, Site 12 – Division Road, West Greenwich:



Layout:



***Not to scale (location and measurement information is approximate)**

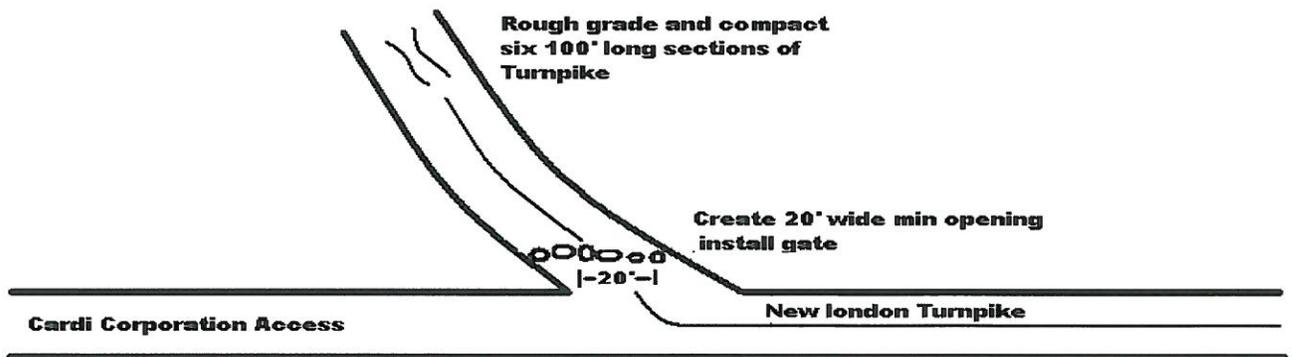
Scope:

1. Remove and properly dispose of any debris in and around gate area
2. Remove Boulders, transport and block access site .5 miles north
3. Remove broken metal gate and replace with one of three available gates

Phase2, Site 13 – New London Turnpike, West Greenwich:



Layout:



***Not to scale (location and measurement information is approximate)**

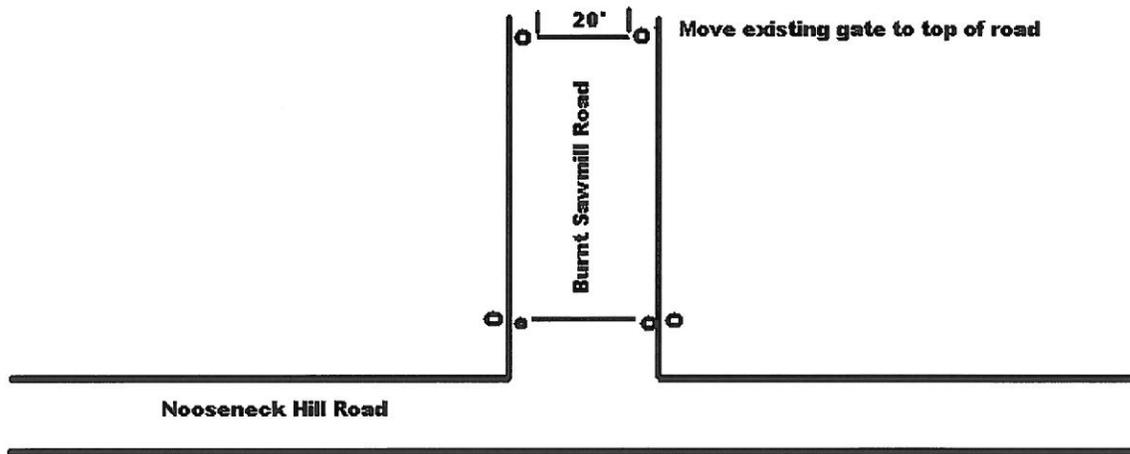
Scope:

1. Create minimum 20' wide opening and install one of three available gates. Strategically place boulders and removed material to the left and right of newly installed gate to limit creation of access points
2. Rough Grade and compact approximately six (6) 100 foot long sections along trail surface

Phase2, Site 14 – Burnt Sawmill Road, West Greenwich:



Layout:



***Not to scale (location and measurement information is approximate)**

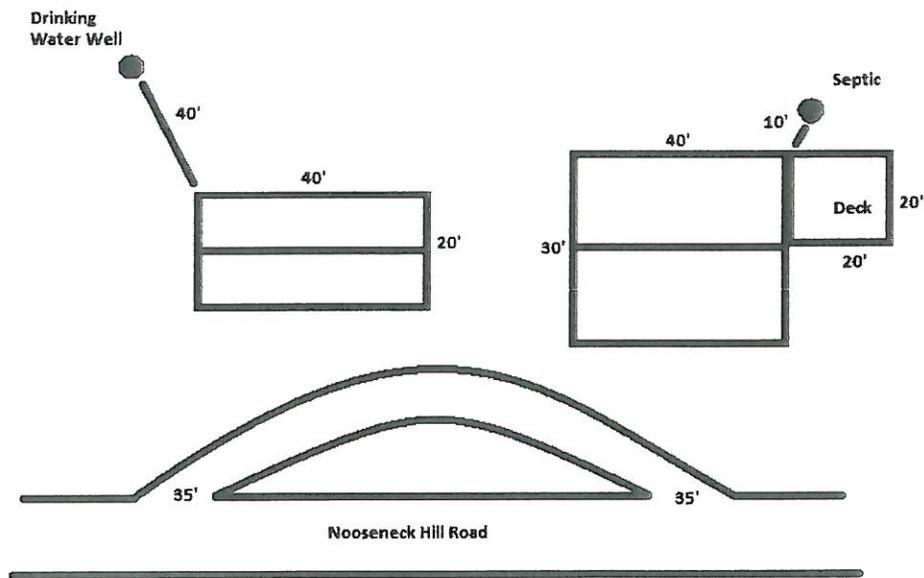
Scope:

1. Remove gate from present location, transport .3 mi to top of road and install at approximate location of speed limit sign. Strategically place boulders to the left and right of newly installed gate to limit creation of access points

Phase 2, Site 1 - 241 Nooseneck Hill Road, West Greenwich:



Layout:



*Not to scale (location and measurement information is approximate)

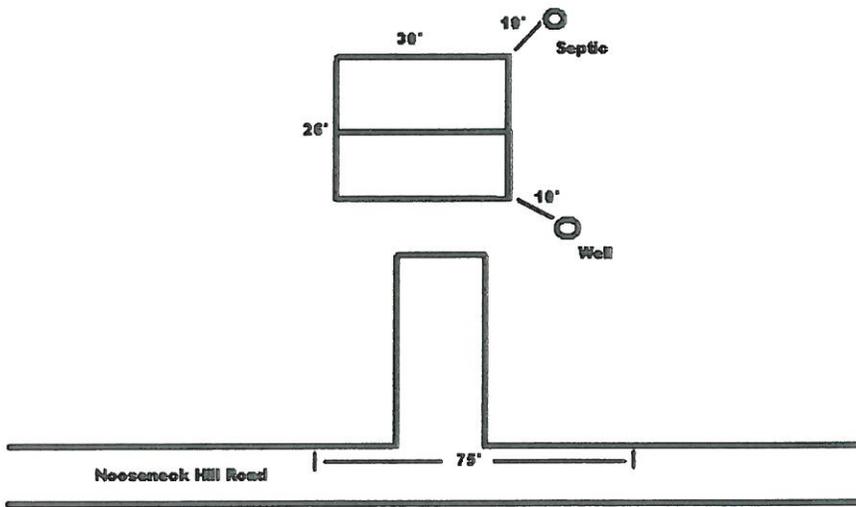
Scope:

1. Demolish standing structures, remove and properly dispose of all debris
2. Locate and properly abandon drinking water well and septic, collapse foundation, backfill all excavations/openings with additional fill
3. Grade to existing terrain, loam and seed disturbed areas
4. Secure driveway entrances with boulders

Phase 2, Site 2 - 212 Nooseneck Hill Road, West Greenwich:



Layout:



**Not to scale (location and measurement information is approximate)*

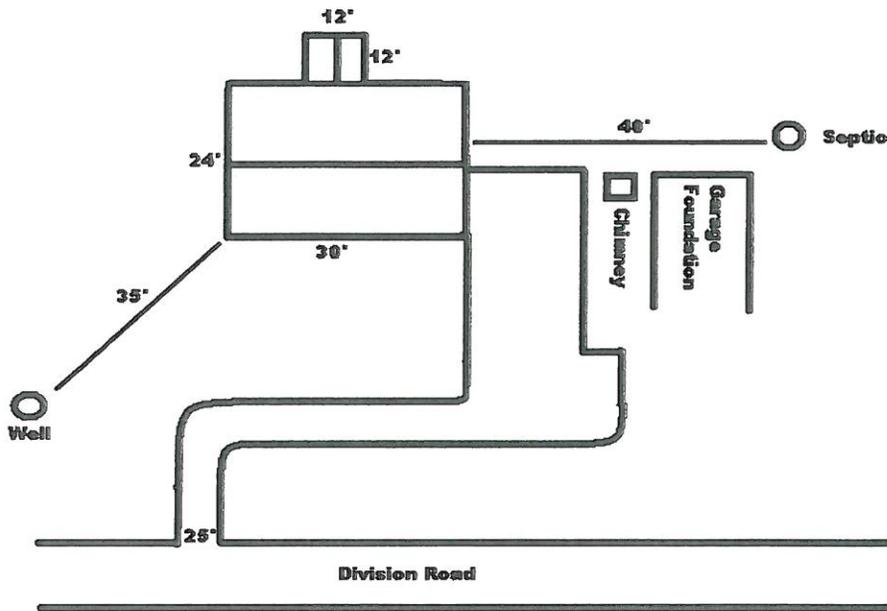
Scope:

1. Demolish standing structure, remove and properly dispose of all debris
2. Properly abandon drinking water well and septic, collapse foundation, backfill all excavations/openings with additional fill
3. Grade to existing terrain, loam and seed disturbed areas
4. Secure 75' entrance area to site with boulders

Phase 2, Site 3 - 148 Division Road, West Greenwich:



Layout:



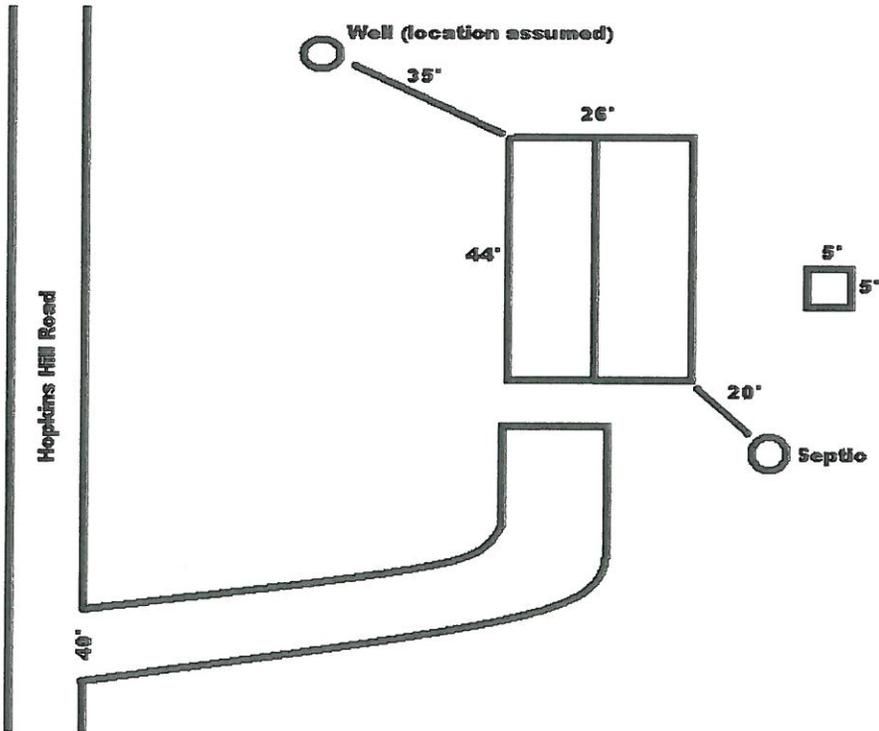
*Not to scale (location and measurement information is approximate)

Scope:

1. Demolish standing structures, remove and properly dispose of all debris
2. Properly abandon drinking water well and septic, collapse foundation, backfill all excavations/openings with additional fill
3. Grade to existing terrain, loam and seed disturbed areas
4. Secure 25' driveway entrance with boulders



Layout:

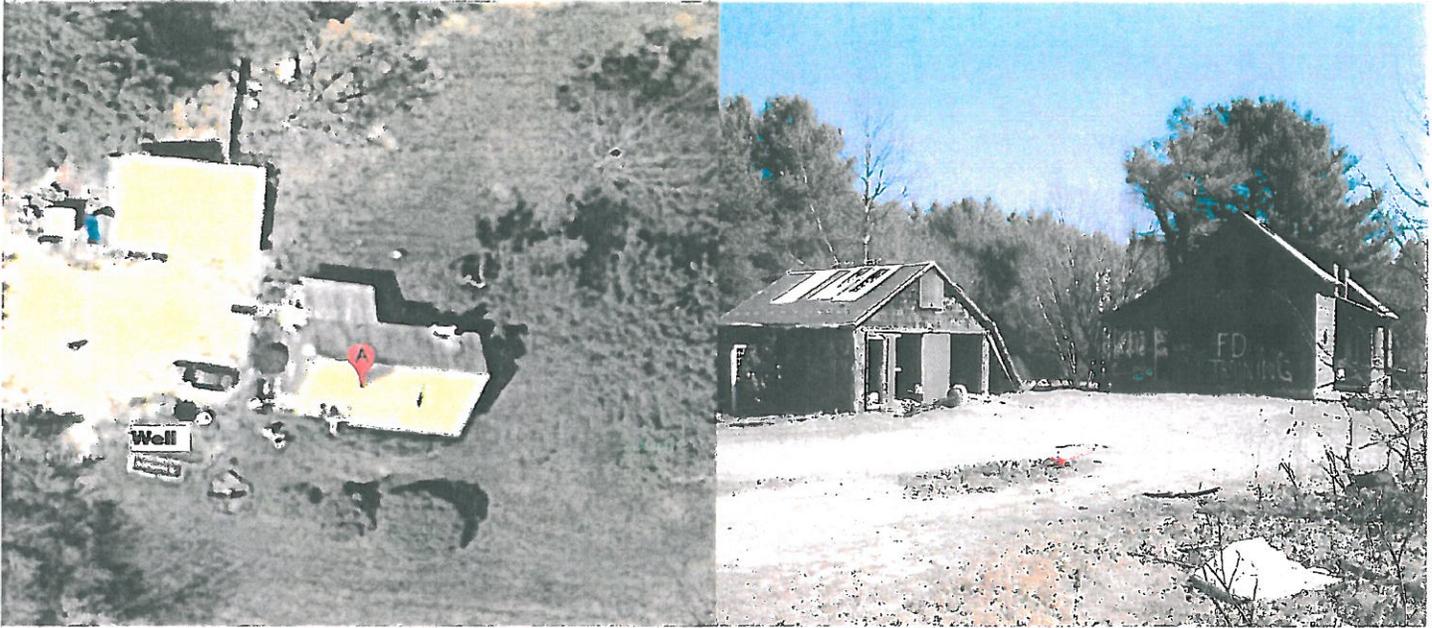


*Not to scale (location and measurement information is approximate)

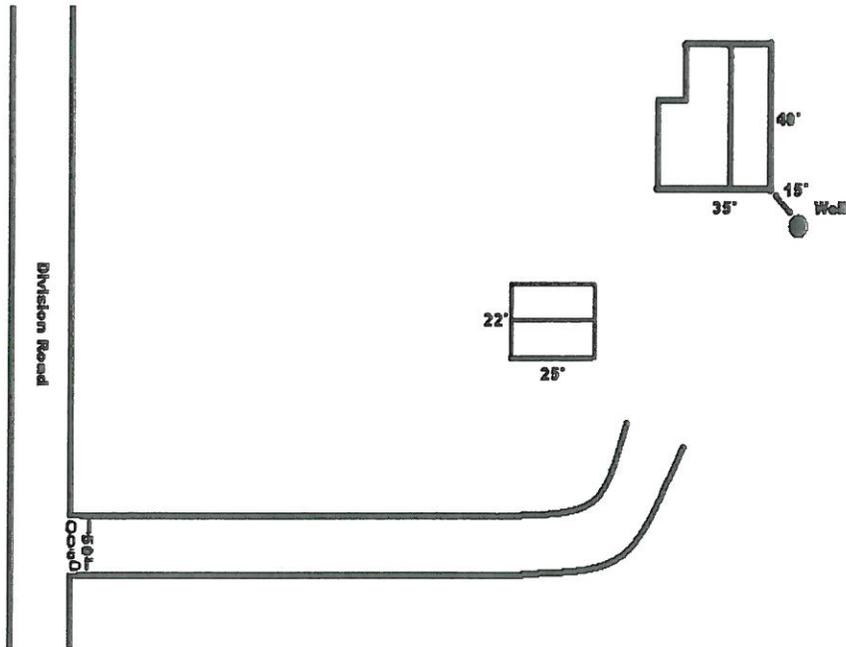
Scope:

1. Demolish standing structures, remove and properly dispose of all debris
2. Locate and properly abandon drinking water well and septic, collapse foundation, backfill all excavations/openings with additional fill
3. Grade to existing terrain, loam and seed disturbed areas
4. Secure 40' driveway entrance with boulders

Phase 2, Site 5 - 80 Division Road, West Greenwich:



Layout:



*Not to scale (location and measurement information is approximate)

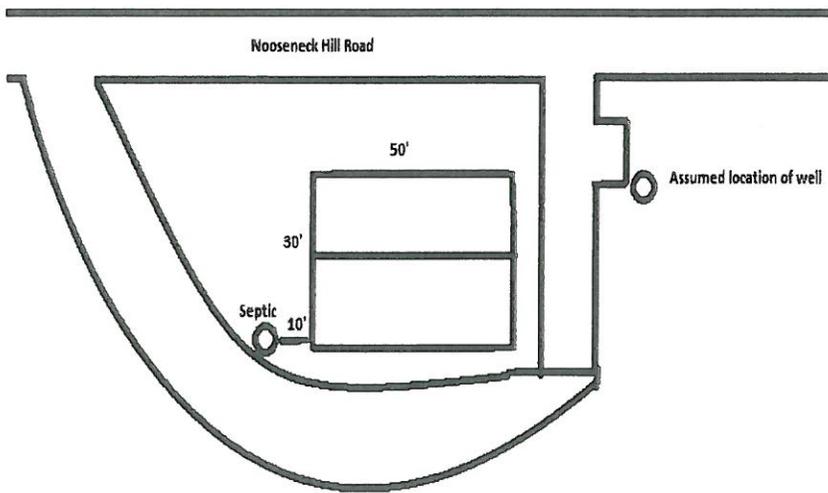
Scope:

1. Temporarily remove boulders at driveway entrance to access site
2. Demolish standing structures, remove and properly dispose of all debris
3. Properly abandon drinking water well, collapse foundation, backfill all excavations/openings with additional fill
4. Grade to existing terrain, loam and seed disturbed areas
5. Replace/Rearrange boulders at driveway entrance to prevent access

Phase 2, Site 6 - 612 Noosneck Hill Road, West Greenwich



Layout:



**Not to scale (location and measurement information is approximate)*

Scope:

1. Demolish standing structure, remove and properly dispose of all debris
2. Locate and properly abandon drinking water well and septic, collapse foundation, backfill all excavations/openings with additional fill
3. Grade to existing terrain, loam and seed disturbed areas