



State of Rhode Island  
Department of Administration / Division of Purchases  
One Capitol Hill, Providence, Rhode Island 02908-5855  
Tel: (401) 574-8100 Fax: (401) 574-8387

## ADDENDUM # 4

BID # 7449531 BID TITLE: A & E -- OLD STATE HOUSE

OPENING DATE AND TIME: 4/13/12 2:00 PM

THIS ADDENDUM ANSWERS QUESTIONS FROM MANDATORY PRE-BID CONFERENCE HELD MARCH 20<sup>TH</sup>, 2012 AT 10:00 AM.

THIS ADDENDUM ALSO INCLUDES SIGN IN SHEETS FROM THE MANDATORY PRE-BID CONFERENCE.

THE STATE IS LOOKING FOR A TOTAL BUDGETARY FIGURE FOR THIS PROJECT AS OUTLINED IN THE "NEEDS ASSESSMENT" BROCHURE HANDED OUT AT THE PRE BID (ALSO ATTACHED IN COLOR VERSION).

THE ELECTRICAL, PLUMBING, SPRINKLER AND HVAC ARE NOT TO BE INCLUDED IN THIS PROPOSAL.

UNDER SECTION "FRONT AND REAR DOORS-REPAIR AND REBUILDING" IN "NEEDS ASSESSMENT" BROCHURE, IT HAS BEEN DETERMINED THAT FRONT DOORS SHOULD BE REPLACED. CHANGE SPECIFICATIONS TO READ "FRONT DOOR REPLACEMENT (IN KIND) AND REAR DOOR REPAIR AND REBUILDING."

NO CODE ASSESSMENT WILL BE PART OF THIS PROJECT.

A PARTIAL SET OF FLOOR PLANS HAS BEEN DIGITIZED AND IS AVAILABLE.

PERTAINING TO CONSTRUCTION AND ADMINISTRATION REQUIRMENTS: AS PART OF THIS PROPOSAL THE STATE WANTS AN ESTIMATED COST TO PREPARE THE CONSTRUCTION DOCUMENTS AND WOULD LIKE TO KNOW THE TOTAL ADMINISTRATION FEE BASED ON THE ESTIMATED CONSTRUCTION COST. THE STATE WOULD ALSO LIKE A UNIT COST OF BREAKDOWN OF THE INDIVIDUAL DEPENDANCIES I.E. HOURLY COST PRINCIPAL ARCHITECT, ENGINEER HOURLY COST, SUB CONTRACT COST, ETC.



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**QUESTIONS CONCERNING THIS SOLICITATION MAY BE E-MAILED TO THE DIVISION OF PURCHASES AT [BIINFO@PURCHASING.STATE.RI.US](mailto:BIINFO@PURCHASING.STATE.RI.US) NO LATER THAN 6 APRIL 12 @ 12:00 NOON (EASTERN). PLEASE REFERENCE THE RFP/BID NUMBER ON ALL CORRESPONDENCE. QUESTIONS SHOULD BE SUBMITTED IN A MICROSOFT WORD ATTACHMENT. ANSWERS TO QUESTIONS RECEIVED, IF ANY, WILL BE POSTED ON THE INTERNET AS AN ADDENDUM TO THIS SOLICITATION ([WWW.PURCHASING.RI.GOV](http://WWW.PURCHASING.RI.GOV)). IT IS THE RESPONSIBILITY OF ALL INTERESTED PARTIES TO DOWNLOAD THIS INFORMATION.**

**David Cadoret  
Buyer**

# STATE of RHODE ISLAND

## DEPARTMENT of ADMINISTRATION DIVISION of PURCHASES

### MANDATORY PRE-BID CONFERENCE ATTENDANCE SHEET

A & E BICENTENNIAL BUILDING (OLD STATE HOUSE)

LOI 7449531

DATE 3/20/12

TIME STARTED 10AM

TIME ENDED APPROX 11:30

#### NAME

#### COMPANY

CORNELIS J. DEBOER AIA

HAYNES/DEBOER ASSOC.

LUCIA SVENSON

BUILDING CONSERVATION ASSOCIATES

Deborah Robinson

Bargmann Hendrie + Archetype

MAURICE FINEGOLD

FINEGOLD ALBERMSDER + ASSOC.

PETER DiSICILIO

CREATIVE ENVIRONMENT CORP.

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TIME STARTED 10 AM

TIME ENDED Approx 11:30

#### NAME

#### COMPANY

Barbara J. Thornton

Brewster Thornton Group  
861-1600, barbara@brewstorthornton.com

MICHAEL ABBOTT

jabbottencarchitects.com  
401-272-2144

CARL ROTHBART

WASA STUDIO A ARCHITECTS  
212-426-1160  
ROTHBART@WASA.LLP.COM

DORLENNE FARZAN

NewPort Architecture LLC  
401-846-0776  
dfarzan@nptarch.com

Frank Murphy

NewPort Architecture  
fmurphy@NptArch.com

JACK EVANS

jevanse@nptarch.com

MOHAMAD FARZAN

mfarzan@nptarch.com

MARTHA WERENFELS

DBW ARCHITECTS  
MWERENFELS@DURKEEBROWN.COM

CECELIA HALLAHAN

DBW ARCHITECTS  
challahana@durkeebrown.com

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## DEPARTMENT of ADMINISTRATION DIVISION of PURCHASES

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DATE 3/20/12

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#### NAME

#### COMPANY

CHRISTIAN J. LADD

LLB ARCHITECTS LERNER LADD & BARTELS

Lombard John Pazzi

Lombard John Pazzi, Architect

DONALD LEFFERT

NORTHEAST ENGINEERS & CONSULTANTS

Chris Commiskey

Hughes Associates

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#### NAME

#### COMPANY

DAN NICHOLS

RGB ARCHITECTS

STEVE GUGLIELMO

SACCOCIO & ASSOC.

Geoffrey Northrup

Castellucci, Galli Corp.

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**NEEDS ASSESSMENT FOR  
THE OLD STATE HOUSE  
150 BENEFIT ST  
PROVIDENCE, RI**

**JULY 2011**



The Old State House, built in 1762, is treasured for its association with significant historical events and admired for its architectural quality. In this building, on May 4<sup>th</sup>, 1776, the Colony of Rhode Island renounced its allegiance to King George III, and for more than a century this was the principal center of state government. The building assumed the popular name Old State House after the new capitol on Smith Hill was occupied in 1901. The Old State House was listed in the National Register of Historic Places in 1970.

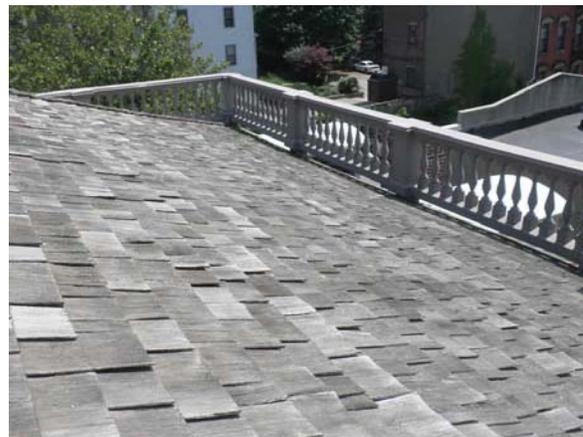
**THE OLD STATE HOUSE  
150 BENEFIT ST  
PROVIDENCE, RI**

**RESTORATION AND MAINTENANCE NEEDS**

July 2011

Wood Shingled Roof Replacement

The roof on the OSH was last replaced in 1981-82. This means that the existing roof has exceeded its expected 25 year life span by 5 years. The shingles are extremely dried out, warped, cupped and split. Pieces of shingle are routinely found on the sidewalk around the building. It is only a matter of time before the roof begins to leak, and we fear that a major storm with wind driven rain could breach the fragile membrane. There are also signs that the flashing around dormers is beginning to fail, as we have had leaks in those areas in recent years which has resulted in plaster damage. For these reasons, a roof replacement will be needed in the near future.





### Window and Window Sill Repairs

The wooden window sashes are all exhibiting stages of wear and weathering and are in need of work. The hardy 100 year old sash have varying amounts of deterioration and each sash should be evaluated to determine the amount of repair necessary. Sash to be repaired should be carefully removed. All loose putty and broken glass should be removed from each sash. All glass in good condition should be carefully removed and salvaged for reuse. Sash stiles and rails should be repaired or replaced as needed. Epoxy consolidation should be used where possible to repair existing sash. All other holes and cracks should be filled with putty. Paint should be carefully removed using appropriate methods to achieve a paintable surface. It is not necessary to remove all of the paint. Before reinstalling the glass a bead of glazing compound should be laid around the rabbet. The panes should then be pressed into place and secured with glazing points. Putty should not be visible from the inside of sash. When repairs have been made and before painting, dried and cracked wood should be treated with a natural wood consolidant. Cracks in sash should be filled with DAP acrylic latex caulking after priming. Two coats of finish paint should be applied. All glass should then be cleaned. Ropes/chains and weights should be repaired or replaced as needed.

Wood window sills also need attention in most cases. Many have checks, cracks and splits which will need to be epoxy consolidated. Each sill should be evaluated and repaired as needed.

Basement windows, both frame and sash are in need of repair. Each basement window shall be assessed and repaired as needed. Grilles must be removed and salvaged. The rust should be removed and grilles repainted and reinstalled.





## North Brick Wall

The lower section of the north wall of the 1867 addition (Benefit Street side) has many deteriorated brick which need to be replaced. All of the brick below the first floor window sills down to the granite base should be carefully removed so as not to disturb the brick above. The brick should be replaced with new brick that matches the existing brick in size and color with mortar that matches the existing mortar. New masonry anchors must be provided in the repair. Brick samples should be provided for review and approval to the RI Historical Preservation and Heritage Commission (RIHPHC) Architects prior to the start of work. A mortar sample must be provided for review and approval by the RIHPHC Architects prior to construction.



## Front and Rear Doors - Repair and Rebuilding

The Historic entrance doors of the building are in serious disrepair and need to be removed, taken apart and rebuilt. All deteriorated or split, or heavily patched members of the doors that can not be repaired should be replaced in-kind with wood that matches the original in species, thickness and profiles. All members that can be repaired should be carefully epoxied and sanded smooth. Weather-stripping should be reapplied and the door should be re-hung.

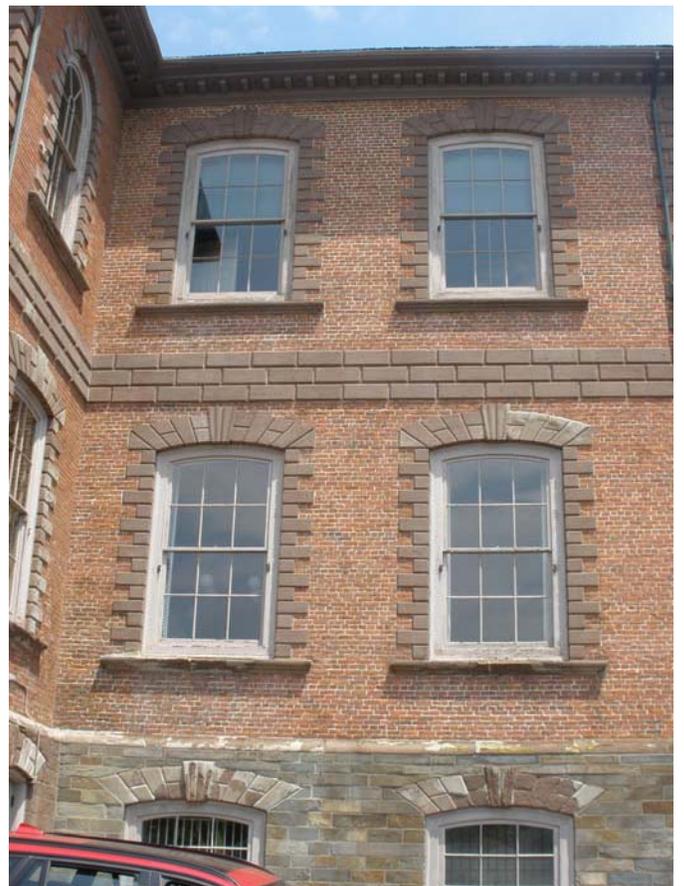




## Exterior Painting

The exterior trim on the building is all in need of painting with the exception of the upper tower. That includes all doors, window sash, door and window frames and cornices. The building was last painted in 1997. All loose, flaking or blistering paint should be carefully removed and the edges of all remaining paint should be feather sanded. All remaining painted surfaces should be lightly sanded to aid in the adhesion of the new paint. All cracks and voids should be filled with wood putty and sanded. Loose boards and nails should be renailed. Because of the nature of the work, age and condition of the surfaces involved and the historic value of the building, special care should be taken in preparation and finishing of all surfaces. Rotary sanders, high pressure water blasting, sandblasting and open flame torches to remove paint should not be permitted.

All new wood, if necessary, should be back primed and edge primed prior to installing. Before painting, all surfaces should be thoroughly washed clean with TSP and potable water. Dried and cracked wood should be treated with a natural consolidant before painting. All new wood and areas where paint has been removed to bare wood should be primed with an oil base primer, and all surfaces to be painted should receive two coats of finish. Paint should be Benjamin Moore Aura or approved equal.



## Brownstone Repairs and Replacement

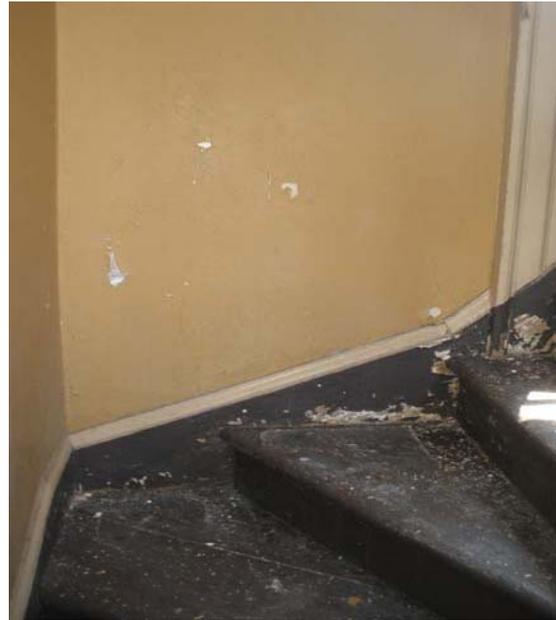
Deterioration of the brownstone masonry trim on the building has been a problem of long-standing. Patching of the most deteriorated features has been done as recently as the late 1990's. Additional patching and selective replacement of brownstone is needed to address the worst areas, which continue to erode and crumble off the building. This is a significant project in its own right, and requires the expertise of specialized consultants and contractors who are experienced in this kind of masonry repair.





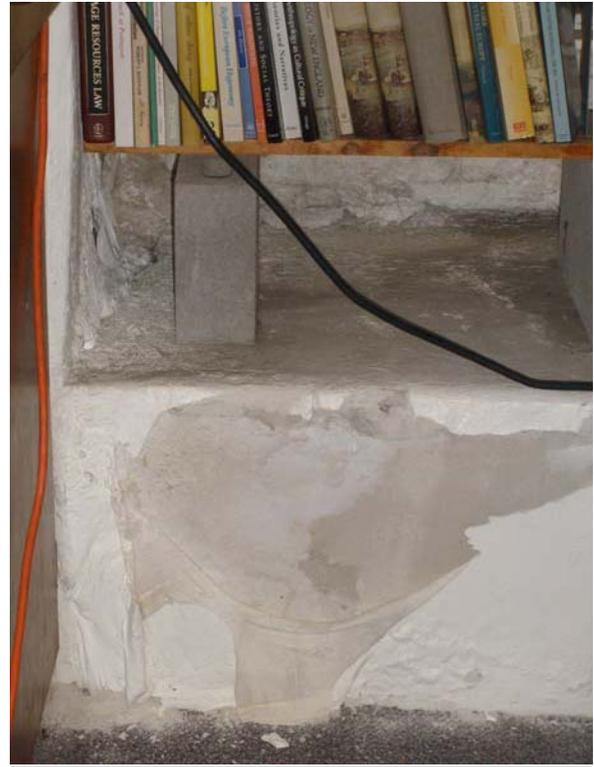
## Interior Plaster Repair at Tower

The plaster at the tower walls and ceiling is in disrepair due to continuous roof leaks that have caused serious water damage. The plaster should be evaluated. Any plaster that is beyond repair, to be determined in consultation with the RIHPHC Architects, should be removed and replaced in-kind. Plaster that can be retained and repaired should be carefully reattached and skim-coated as needed to blend with the existing/new plaster. Entire stair hall, including walls ceiling trim and stairs should be painted. Any new plaster should receive one coat of primer and two coats of finish paint. Colors will be selected by RIHPHC.



## Interior Plaster Repair at Basement

The south side of the basement is occupied by the Archeologist's Office and Repository. The plaster at the south walls is in disrepair due to water infiltration that has caused serious damage. The water infiltration problem has been addressed but the plaster has not been repaired. Any plaster that is beyond repair should be removed and a vapor barrier between the stone and new plaster should be used to prevent dampness from the stone foundation from damaging the new plaster. Plaster that can be retained and repaired should be carefully reattached and skim-coated as needed to blend with the existing/new plaster. Nu-wal system or similar product should be applied to the plaster to prevent future cracking and spalling.



### Interior Painting

The principal public spaces of the building are all in need of painting. These spaces include the Benefit Street entry stairhall, the first floor courtroom, the second floor stairhall, the second floor paneled room (meeting room), a small second floor office and the Archeology lab in the basement. These spaces were last painted in the late 1980s. Surfaces to be painted include all doors, window sash, door and window casings, plaster walls and ceilings. All loose, flaking or blistering paint should be carefully removed and the edges of all remaining paint should be feather sanded. All remaining painted surfaces should be lightly sanded to aid in the adhesion of the new paint. All cracks and voids should be filled and sanded. Because of the nature of the work, age and condition of the surfaces involved and the historic value of the building, special care should be taken in preparation and finishing of all surfaces. Before painting, all surfaces should be thoroughly washed clean with TSP and potable water. Dried and cracked wood should be treated with a natural consolidant before painting. All new wood and areas where paint has been removed to bare wood or plaster should be primed with an oil base primer, and all surfaces to be painted should receive two coats of finish. Paint should be Benjamin Moore Aura or approved equal.



### Electrical/Plumbing/Sprinkler/HVAC

This report does not evaluate the plumbing, electrical, or sprinkler needs of this building. The report has covered architectural fabric only. It is our understanding that the HVAC needs of the building are being planned for now under a separate contract.

## Bell Carriage

The Bell carriage in the tower which operates the bell is in serious disrepair. Repairs that have been made in the past are now failing. It may be necessary to replace the entire wheel and any other wooden components of the carriage. The new wheel must replicate the existing in size, configuration and wood species if possible. If any of the existing wheel can be salvaged and reused, it should be incorporated into the new wheel. The new components should be installed in the bell tower and the bell should be attached and made to work.



## Wrought Iron Fence Painting

The wrought iron fencing, which surrounds the parade ground and runs along North Court Street, South Court Street and North Main Street, is in need of painting. The fence, which is painted black, is rusty and peeling. All loose and flaky paint should be scraped and sanded. The rust should be removed using a wire brush. The fence should be primed with an oil rust inhibiting primer and finished painted with two coats of Benjamin Moore Metal Enamel. Final coat should be brushed on.

