

SOLICITATION INFORMATION

October 19, 2011

RFQ #7449146

TITLE: Renovations to ground floor restrooms at Donovan Dining Center- RIC

CLOSING DATE AND TIME: 11/21/11 @ 2:00 PM

PRE-BID / PROPOSAL CONFERENCE: YES DATE: 11/8/11 @ 9:30 AM

MANDATORY: NO

LOCATION: RIC – 600 MOUNT PLEASANT AVE, PROVIDENCE RI. PLEASE REPORT TO PHYSICAL PLANT DIRECTORS OFFICE.

SURETY REQUIRED: YES

BOND REQUIRED: YES

Questions concerning this solicitation may be emailed to gary.mosca@purchasing.ri.gov no later than 11/4/11 @ 12:00 Noon EST. Questions should be submitted in a Microsoft word attachment. Please reference the RFQ # on all correspondence. Questions received if any, will be posted on the internet as an addendum to this solicitation. It is the responsibility of all interested parties to download this information

**GARY P. MOSCA
BUYER**

Vendors register on-line at the State Purchasing Website at www.purchasing.ri.gov to be able to download a Bidder Certification Cover Form.

THIS PAGE IS NOT A BIDDER CERTIFICATION FORM

RHODE ISLAND COLLEGE

RENOVATION OF GROUND-FLOOR RESTROOMS, DONOVAN DINING CENTER

SPECIFICATIONS

1. GENERAL

- 1.1 Contract Purpose: The ground-floor restrooms in our Dining Center have only received minimal improvements since the facility was constructed in 1963. Accordingly, the primary purpose of this Contract is to bring these heavily used restrooms into compliance with current Building Codes; and to modernize them in a manner that will significantly improve their appearance and aesthetics.

Therefore, the requirements of this contract include: the replacement of the lobby flooring with heavy-duty carpet tiles; the relocation of a masonry wall; the installation of easily cleaned ceramic wall and floor tiles; the installation of replacement toilets and urinals having automatic flush valves; the installation of attractive, graffiti-proof, ceiling-hung replacement toilet partitions; the installation of modern molded-sinks countertops with automatic water spigots and paper-towel dispensers; the replacement of mirrors; the application of mold-and-mildew resistant paint on both ceilings; the installation of energy-conserving replacement lighting fixtures; and the installation of greatly enhanced exhaust-fan capabilities. Because of variations in the types and specified locations of the replacement plumbing fixtures, partitions; and because of the installation of above-ceiling exhaust ducts, contractor will also be required to partially or completely replace (or install additional) water and sanitary-drain piping, fittings, equipment support and hanger systems; pipe hangers and duct supports must also be furnished and installed; and ceilings cut and patched to equal existing. Although not specifically mentioned on the PLANS, duct hanger and support systems must be furnished and installed in accordance with SMACNA Standards. In addition, all required turning vanes (at all duct elbows and bends), splitters, flanges, scoops, baffles must be furnished and installed per SMACNA Standards for a 100% efficient exhaust system. Some piping and ducts must be insulated. The associated electric service, switches, wiring, conduit systems must be furnished and installed.

Additional and detailed requirements for this BASE BID are adequately described on the enclosed 9 PLANS, which are officially incorporated into these Specifications.

In addition, the associated pipefitting, demolition, masonry, tile-setting, carpet-tile and adhesive installation, painting, steelwork, concrete core-drilling work, wall- and floor-scarifying must be accomplished. Equipment, ductwork and piping must be leak-tested; controls systems installed and verified; air must be bled from all lines; complete testing and start-up operations performed; and all associated electrical requirements satisfied.

- 1.2 Pre-Bid-Submittal Site Inspection. Each Contractor submitting a bid is to survey Donovan Dining Center's (Donovan DC) basement restrooms, lobby and adjacent mechanical and electric rooms and offices. Contractor is to verify all pertinent measurements before submitting the bid. Attend the non-mandatory (but highly recommended) pre-bid meeting. Call the College's Engineer (Mr. John Vickers at 456-8262) with any questions.
- 1.3 Contractor Qualifications. The removal and installation of the plumbing fixtures, piping (water and sanitary-drain), fittings, valves, and related equipment required by this Contract are to be accomplished by a Rhode Island licensed plumber; any required welding is to be accomplished by a RI-certified welder. In addition, the Contractor must have a Master Plumbing Contractor's License valid in Rhode Island. The actual installation of the electrical service lines, wiring, conduits, boxes, switches, exhaust fans, lighting fixtures and connections as well as the associated electrical equipment required by this Contract are to be performed by a Rhode Island licensed electrician. The electrical subcontractor must have a Master Electrical Contractor's License valid in Rhode Island.
- 1.4 Pre-construction Planning and Schedule. As soon as possible after being awarded this Contract, the Contractor (and all subcontractors) will attend a pre-construction meeting before starting any actual demolition, plumbing fixtures, piping, electrical equipment, wall and wall coverings, flooring: removal, replacement or installation work. Immediately after this meeting and the approval of submittals, the Contractor should order all required replacement and improvement equipment, parts, materials and associated components. Schedule the work so that these newly improved restroom (and lobby) equipment, piping, electrical and architectural systems are fully operational by 31 March 2012.
- 1.5 Laws, Permits. Contractor (and subcontractors) are to comply with all applicable federal and state laws, regulations and codes: in particular, the Plumbing and Electrical and Americans Disabilities Act Codes apply. In addition, all ductwork installed by this contract must comply with SMACNA's HVAC Duct Construction Standards – Metal & Flexible Requirements. The Contractor DOES need to obtain a permit for this work from the State Building Commission. The permit is issued by the office of the State Building Commissioner, One Capitol Hill, Providence (222-3033).
- 1.6 Materials, Equipment and Workmanship.
- 1.6.1 General. Materials and workmanship shall be the best of their respective kinds; work will be accomplished in a neat and workmanlike manner in full accord with modern construction methods, and with any applicable State codes. All equipment and materials furnished and installed for this contract are to be of American manufacture. All of the primary Contractor-furnished equipment and materials required for these restroom renovations are specified on the PLANS by manufacturer and model. All other required materials {to include: valves,

equipment mountings, all piping, fittings, connectors, electrical conduit and wiring, structural-steel and similar materials} are to conform to accepted National and RI construction industry standards

1.6.2 Samples and Submittals. At least 1 week prior to the project start date, Contractor shall submit, for Plant Engineer approval:

(a) Samples of the following materials: Ceramic Floor and Wall Tiles.

(b) The following shop drawings: None.

(c) Catalog "Cuts" which adequately identify and describe the following:

(1) All Kohler plumbing fixtures, valves, faucets, materials.

(2) Swanstone ceiling-hung toilet partitions.

(3) Light fixtures, exhaust fans and similar materials and equipment which the Contractor proposes to furnish, install, use for this Contract.

(4) Corian molded-sink countertops and cleanser.

(5) The pipe and duct insulation.

All such samples and shop drawings will be identified as to manufacturer, item, kind, and include all necessary information to demonstrate that the materials comply with Specifications. Catalog "Cuts" are to include at least one manufacturer's original set (all photo copies NOT acceptable).

1.6.3 Shop Drawing, Catalog Cut & Equipment Ordering Warning. Contractor is not to order nor commence to install any equipment under this Contract until the applicable Samples, Shop Drawings and Catalog Cuts are approved by the Engineer.

1.6.4 and 1.6.5 Deleted.

1.6.6 Conduit. Certain segments of flexible conduit are to be furnished and installed as equipment connections. All conduit within the mechanical room (MR) and conduit within the building is to be EMT thin-wall steel conduit with steel set-screw fittings; or MC cable may be used wherever allowed by the Code; use diameter required by the Code. Appropriate, standard junction and pull boxes, elbows and fittings which match the adjacent conduit are also to be furnished and installed.

1.6.7 Electrical Equipment and Cables. Furnish and install the required relays, electrical and conduit fittings, conduit hangers, all associated electrical materials for 100% operational electrical service and controls systems for the fan-coil units and for all pumps being furnished and installed by this contract. Contractor is to use copper electrical wires (600 volts capacity) with THHN insulation for all electric service requirements. Wiring for all controls and temperature-sensor systems will also be of copper, comply with codes and be

installed in the specified conduits. If no size is indicated, the wire will be sized in accordance with the Electrical Code for the operating current of the equipment being supported (allowing for starting current).

Contractor is to comply with the following RI College standard color scheme for its 3-Phase wiring:

Phase A – Black

Phase B – Red

Phase C – Blue.

1.6.8 Deleted.

1.6.9 Deleted.

1.6.10 Deleted.

1.6.11 Steel. All basic steel products, such as Unistrut or B-Line Strut Systems (by B-Line Systems, Inc.; available at Graybar) - if required to support the suspended equipment in the mechanical room; and the hangers and threaded rods; bolts, nuts, lock washers and similar fasteners; required for this Contract are to be of mild steel (yield strength of 30,000 or 36,000 psi). Connecting bolts, nuts, washers; anchor bolts; and bolts inserted into concrete ceiling decks, masonry walls and floor slabs shall be of galvanized steel (& bent cold).

1.6.12 Cleaning Materials. To clean a given surface, only those cleaning materials are to be used which are recommended by the manufacturer of the surface to be cleaned.

1.6.13 Piping and Fittings. The required piping sizes may be identified on the applicable PLANS. Contractor is to furnish and accomplish all required piping installation; connections to existing piping and other equipment: ALL connections should use the same kind, diameter, thickness and schedule piping as that which the new piping adjoins. For copper pipe, use Type L and, for solder-type fittings, use silver solder.

Wherever the copper pipe being installed connects to existing steel pipe, use dielectric fittings/connections to avoid electrolytic corrosion. Install also all appropriate gaskets, sealants, Teflon tape to ensure long-lasting, leak-free joints and connections. All pipefitter, plumbing and related site work is to be in full compliance with all applicable codes.

1.6.15 Insulation. After all piping being installed has been completely bled of air and has been tested for leaks, furnish and install the specified 1"-thick fiberglass insulation. After all ductwork being installed has been completely has been tested for leaks, furnish and install the specified 1-1/2"-thick fiberglass ductwrap with factory-supplied foil-skrim-kraft jacketing on the designated 30" x 6" duct.

- 1.6.16 Ceiling Tiles and Grid. When installing the exhaust duct above the 2 offices, restore completely all ceilings disassembled, damaged or affected by the work of this contract. Furnish and install College-furnished ceiling grid members to match the existing in the offices. Use College-furnished ceiling tiles.
- 1.7 Substitution of Materials. Materials specified by Manufacturer and Trade name for installation under this Contract are not to be substituted for “equal” or “equivalent” materials without State Purchasing Office approval. However, any contractor proposing to supply and install “equal” materials will so notify the State Purchasing Officer at last 96 hours prior to bid submittal. This Officer will consult with the College’s Engineer to determine whether such materials are, in fact, equal products before awarding the contract to such low bidder [who is offering the “equal” product(s)].
- 1.8 Storage of Materials. At the job-site, all materials are to be stored in a place and manner which protect them from damage and the effects of weather. Flammable and readily combustible materials are not to be stored inside campus buildings. Coordinate storage requirements and proposed locations with the College Engineer. Contractor is to inspect frequently all stored materials to identify damaged or deteriorating items; such items will not be used and are to be removed from the job-site upon discovery.
- 1.9 Protection of Work and Property. The Contractor shall safely protect the personnel and property of the College and all adjacent property (as well as the Contractors’ materials, equipment and employees) from loss, injury or damage; and shall repair, replace and/or compensate any damage, injury or loss resulting from this project. The College shall not be responsible for contractor equipment/security. Because the Contractor may be using welding-type or soldering equipment within Donovan DC, special care will be taken to avoid fires: particularly when working near combustible materials. Contractor will keep one large CO2 fire extinguisher and one ABC fire extinguisher on hand whenever operations involving flames or arc-welding are in progress; these extinguishers are to be operable in accordance with standards acceptable to the State Fire Marshal. Smoldering fire inspections are to be made by the Contractor’s on-site superintendent at the end of each day’s work which involved flame-type or arc-welding operations.
- 1.10 Manufacturer’s Directions. All manufacturer’s articles, materials and other equipment shall be supplied, installed, connected, erected, used, cleaned, and conditioned as directed by the manufacturer’s instructions unless otherwise approved by the College Engineer.
- 1.11 Clean-up. During and after completion of the project, the Contractor shall leave the area in a clean and orderly condition – which is acceptable to the College. Further, the Contractor must leave the work-site clean, safe and secure at the end of each workday. All excess, replaced and unsuitable materials will be removed from Campus by the Contractor, unless otherwise approved by the Engineer.

Except in the MR, the Contractor shall also remove all dust, marks, stains, fingerprints and other soil or dirt from all floors and painted, decorated and stained surfaces.

The dust resulting from all demolition and removal work shall be controlled so as to prevent its spread to occupied portions of the building, and to avoid the creation of a nuisance for the surrounding areas. The College will continue to use Donovan DC throughout the duration of this contract. Ducts and ceilings removal and installation; piping and equipment removal and installation; as well as all hanger and piping installation and other work in and near ceilings must be carefully scheduled to the mutual satisfaction of the College and the Contractor. Isolate occupied spaces from demolition/removal operations by temporary dust-tight barriers. Dust seals shall be installed on doors entering occupied spaces. Gaskets or other means may be used, provided the sealant method does not impede the use of these exits in an emergency.

Contractor is also to cover all computers, printing and similar equipment, furniture with heavy-duty (6-mil) polyethylene whenever work of this contract is being performed above or near such equipment and furnishings during demolition, equipment installation, duct and piping (and similar) work. Contractor is to coordinate the operations of subcontractors in order to achieve these objectives and a logical accomplishment of the total project.

- 1.12 Daily-Sign-In Policy. All contractor and sub-contractor personnel are required to sign-in at the Campus Police office in Browne Hall. The Campus Police will issue a parking "pass" and direct your personnel where to park. The "pass" will designate not only the approved parking area; but also the duration of the pass. In addition, each of your workers will be issued an ID, which he or she is to return at the end of the contract (or their part of the contract).

- 1.13 Payment. Partial payments may be negotiated; 10% retentions apply. **Unless advance College Engineer approval has been obtained**, invoices may not be processed by the College. Please use the AIA (Architect's) payment documents and an Engineer-approved Schedule of Values. Upon work completion, the Engineer will be notified, and will conduct with the Contractor's representative a joint physical check of the quality and extent of the ceilings, walls and floorings installation (and painting); plumbing fixtures, equipment and toilet partitions replacement and installation; lighting fixtures, exhaust fans and ductwork replacement and installation; piping and electrical-service systems replacement and installation work and the associated improvements. This is necessary to insure prompt payment.

- 1.14 Equipment Start-up Operations and Project Completion. Contractor will (bleed all air from and) activate all lines and provide complete start-up and test service (for all possible modes of operation) for the replacement plumbing equipment and piping systems; and also for the replacement lighting fixtures and additional exhaust fans and the associated ductwork system. Contractor is to BLEED ALL AIR FROM

PIPING. This start-up and test service for the restrooms renovations is to be **performed before the end of March 2012.**

1.15 Guarantee. The Contractor shall leave the facility in proper working order and shall replace any work, material, or equipment provided by the contractor under this contract which develops defects, other than due to vandalism, within one year from the date of final acceptance by the College, without additional expense to the College. However, any manufacturer's longer-term warranties shall apply.

2. SCOPE OF CONTRACT.

Contractor will furnish all labor, materials, services, staging, equipment and supervision necessary for the **complete renovation** of the two ground-floor restrooms in Donovan DC. the replacement of the lobby flooring with heavy-duty carpet tiles; the relocation of a masonry wall; the installation of easily cleaned ceramic wall and floor tiles; the installation of replacement toilets and urinals having automatic flush valves; the installation of attractive, graffiti-proof, ceiling-hung replacement toilet partitions; the installation of modern molded-sinks countertops with automatic water spigots and paper-towel dispensers; the replacement of mirrors; the application of mold-and-mildew resistant primer and paint on both ceilings; the installation of energy-conserving replacement lighting fixtures; and the installation of greatly enhanced exhaust-fan capabilities. Contractor must also apply mold-and-mildew resistant primer and paint on the Contractor-fabricated brackets and molded-sink supporting steel and associated fasteners. The installation and fastening of special (Contractor) fabricated brackets to secure the ceiling-hung toilet partitions beneath recessed fluorescent lights is also required by this contract. Because of variations in the types and specified locations of the replacement plumbing fixtures, partitions; and because of the installation of above-ceiling exhaust ducts, contractor will also be required to partially or completely replace (or install additional) water and sanitary-drain piping, fittings, equipment support and hanger systems. Pipe and conduit hangers and duct supports and hangers must also be furnished and installed; and ceilings cut and patched to equal existing. Although not specifically mentioned on the PLANS, duct hanger and support systems must be furnished and installed in accordance with SMACNA Standards. In addition, all required turning vanes (at all duct elbows and bends), splitters, flanges, scoops, baffles must be furnished and installed in the ducts per SMACNA Standards for a 100% efficient exhaust system. Some piping and ducts must be insulated. The associated electric service, switches, wiring, conduit systems must be furnished and installed.

ALL piping, fittings, vibration reducers, equipment and ductwork support and hanger systems, full-port ball valves, pipe and conduit hangers and supports must also be furnished and installed. Designated piping and ductwork must be insulated. The associated electric service for the exhaust fans, conduit systems must be furnished and installed.

Additional and detailed requirements for this BASE BID are adequately described on the enclosed: 9 PLANS – ALL of which are both listed below and officially incorporated into these Specifications. All work will be in accordance with these Specifications and enclosed PLANS.

In addition, the associated pipefitting, hangers installation, demolition, ceilings installation and restoration, concrete core-drilling, electric-service and connections, painting, wall-and-floor-surface preparations for ceramic-tile installation work must be accomplished. Equipment and piping must be leak-tested; controls systems installed and verified; air must be bled from all lines; complete testing and start-up operations performed; and all associated electrical requirements satisfied.

Regardless of any inadvertent omissions in these Specifications and the enclosed PLANS (and even if all the specific fittings and materials requirements are not identified nor mentioned), contractor is to furnish and install completely renovated, fully functional, 100% operational restrooms on the ground floor of Donovan Dining Center; plus all required, associated equipment: ALL in full compliance with all applicable RI codes and modern Engineering standards and practices for such systems.

ADD ALTERNATE ONE: Indicate the additional costs (to be added to the BASE BID price) which apply when the College directs the Contractor to remove the existing Floor covering and install additional College-furnished carpet tiles (all per the Specifications of Note 1 on the PLANS) on an additional, adjacent floor area in the basement of Donovan DC. The Contractor will be paid for properly installing these additional carpet tiles on a unit cost per square-foot (SF) basis. Therefore, on the Bid Documents, indicate the unit (SF) cost and total cost of removing floor covering and installing carpet tiles on 500 additional SF of floor area.

<u>Estimated Quantity</u>	<u>Unit Cost</u>	<u>Total Cost</u>
500 Square Feet		

The following is the COMPLETE List of PLANS for this Contract:

1. PLAN: Carpet Tile & Demolition Requirements
2. PLAN: Mens RR Plumbing & Electrical Requirements
3. PLAN: ADDITIONAL Mens RR Plumbing & Electrical Requirements
4. PLAN: STILL MORE Mens RR Plumbing & Electrical Requirements

5. PLAN: Mens RR Electrical Requirements
6. PLAN: Mens RR Exhaust Duct Requirements
7. PLAN: Ladies' RR Plumbing & Architectural Requirements.
8. PLAN: Ladies' RR ADDITIONAL Plumbing & Electrical Requirements.

9. PLAN: Ladies' RR Exhaust Ducts & ADDITIONAL Electrical Requirements.

3. DETAILED REQUIREMENTS.

3.1 Demolition. Remove and dispose-of the following off-Campus: the designated existing walls (per Note 3 on the PLANS); and all of the equipment, fixtures and partitions (designated on Note 5 on the PLANS) plus any electrical service being replaced. Comply with Paragraph 1.11 of these Specifications.

3.2 ASBESTOS-Containing Materials. If the contractor encounters any asbestos pipe insulation or other asbestos-containing materials (ACM) which interfere with the accomplishment of a requirement of this contract, the College will have such ACM removed from Campus by another contractor AT NO EXPENSE TO THIS HVAC-SYSTEM REPLACEMENT CONTRACTOR. This contractor will have absolutely NO asbestos removal responsibilities nor liabilities.

3.3 Support Hangers Installation. Properly locate and install all required hangers, brackets and similar structural components (as adequately described on the PLANS) to support the specified plumbing fixtures, countertop molded sinks, toilet partitions, ductwork, exhaust fans; water and sanitary drain piping, valves; electrical-service conduits, wiring, equipment;. All bolt holes in the supporting steel members are to be drilled. All holes in masonry and concrete (floors and ceilings) for anchor bolts supporting hangers shall be core-drilled at the required diameter for the fastener or anchor being installed in accordance with the applicable Manufacturer instructions. All fasteners are to be galvanized; and securely tightened.

3.4 Installation of Plumbing Fixtures, Partitions, Wall, Ceiling and Floor Tiles; Light Fixtures, Exhaust Fans and Ductwork. Comply with all the requirements specified on the enclosed PLANS and in these Specifications: all in accordance with applicable code requirements. Make all necessary piping, ductwork and electrical connections.

3.6 Testing and Start-up Operations. In March 2012, Contractor is to conduct complete Equipment start-up operations (and personnel instruction), per Paragraph 1.14 of these Specifications. However, before start-up, Contractor is to fill all cold-water and hot-water (and sanitary-drain) piping for both restrooms; and ensure that no leaks occur. AIR MUST BE BLED. The start-up operations we envision include actual start-up and systems adjustments; complete system demonstration and performance verification; total instruction of Physical Plant personnel; the furnishing of maintenance data and parts lists; the setting and adjustment of all controls and accessories; and trouble-shooting and the provision of a trouble-shooting guide. **Note: After all piping and ductwork being reconnected, changed, altered or added has been SUCCESSFULLY bled and passed the pressure-leak testing, furnish and install the specified insulation.**

4. EXISTING SYSTEMS UNEXPECTED REPAIRS ALLOWANCE

EACH CONTRACTOR SUBMITTING A BID IS TO INCLUDE AN ALLOWANCE OF \$15,000 IN THE BASE BID TO COVER UNEXPECTED COSTS; SUCH AS, FOR EXAMPLE, THE COSTS OF MAKING UNANTICIPATED REPAIRS ON THE EXISTING PIPING AND ELECTRIC SYSTEMS; PLUS THE COSTS OF MAKING ANY ADDITIONAL CHANGES AND IMPROVEMENTS which may be required as a result of the State Building Commissioner review of these PLANS and Specifications.

Compensation for accomplishing these repairs or improvements, and for making any other required changes or additional equipment installation will be based on actual labor and materials costs. On work by the contractor's own personnel and workers, a combined overhead and profit of 10% is the maximum that will be approved. On work by a subcontractor, a combined overhead and profit (i.e., mark-up) of 10% for the prime contractor is the maximum that will be approved.

ANY PART OF THE \$15,000 ALLOWANCE NOT SPENT WILL BE CREDITED TO THE COLLEGE AT THE TIME OF FINAL BILLING. IF NO SYSTEMS REPAIRS NOR ADDITIONAL EQUIPMENT INSTALLATION NOR IMPROVEMENTS ARE REQUIRED, THE ENTIRE \$15,000 WILL BE CREDITED TO THE COLLEGE AT THE TIME OF FINAL BILLING.

Whenever requested, proceed to cost-estimate all required (BUT UNANTICIPATED) repairs, improvements and additional equipment installation as requested by the College Engineer. **Use the Rhode Island College Standard Change Order Document (Sample Attached) to submit each proposed Change Order.** Attach the following to EACH Contract Change Order Request document submitted: the estimated personnel hours and applicable (prevailing) wage rate for each trade or skill required to complete the proposed change order; and the detailed list of materials (and unit costs) required. ONLY UPON RECEIPT OF COLLEGE ENGINEER APPROVAL for specific repairs and equipment installation, proceed to accomplish same.

C&F\JHVES-11\DDC-Basement RR Renovation (23 Aug 2011)

**RHODE ISLAND COLLEGE
CONTRACT CHANGE ORDER**

P.O. No. _____

Change Order No. _____

Project: (as identified at the start of the Specifications)

To: _____

In accordance with Specifications Paragraph _____ of the above named contract, the following change is made and incorporated into said contract:

(See Attached Detailed Increased "Time and Materials" Requirements)

The Contract Price is changed as follows: _____

The Contract Performance Dates and/or Duration are changed as follows:

All other terms and conditions of subject contract remain in full force and effect.

Submitted by: _____ (Contractor) _____ (date)

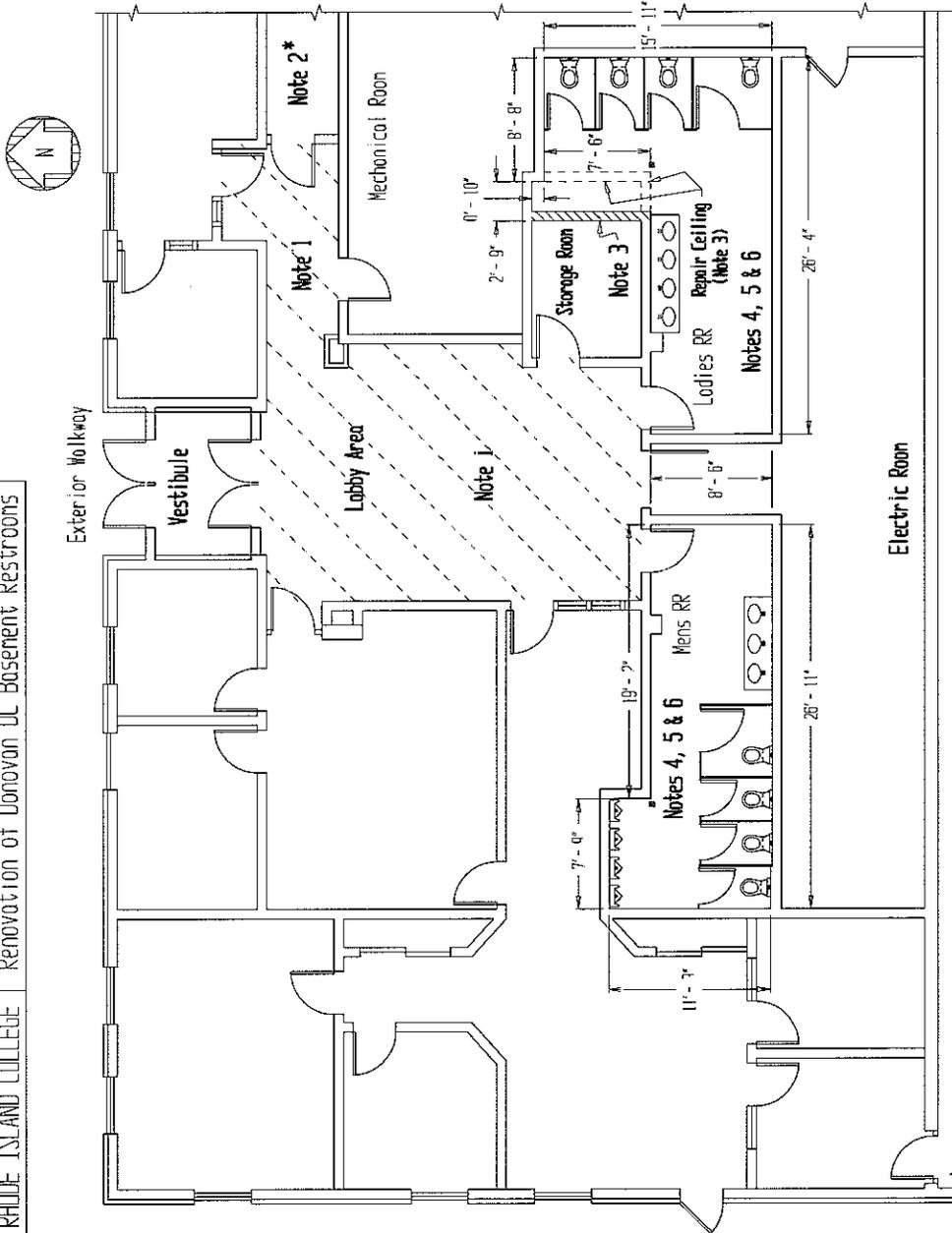
Approved by: _____ (College Engineer) _____ (date)

Accepted by: _____ (Contractor) _____ (date)

FOR OWNER USE ONLY

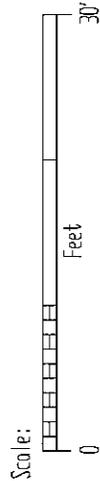
Original Contract Price (Excluding Allowance) _____
Current Contract Price (Including Obligated Portion of Allowance) _____

RHODE ISLAND COLLEGE Renovation of Donovan DC Basement Restrooms



Abbreviations:

- RR = Restroom F&I = Furnish & Install
- R-C = Reinforced-Concrete * = Typical



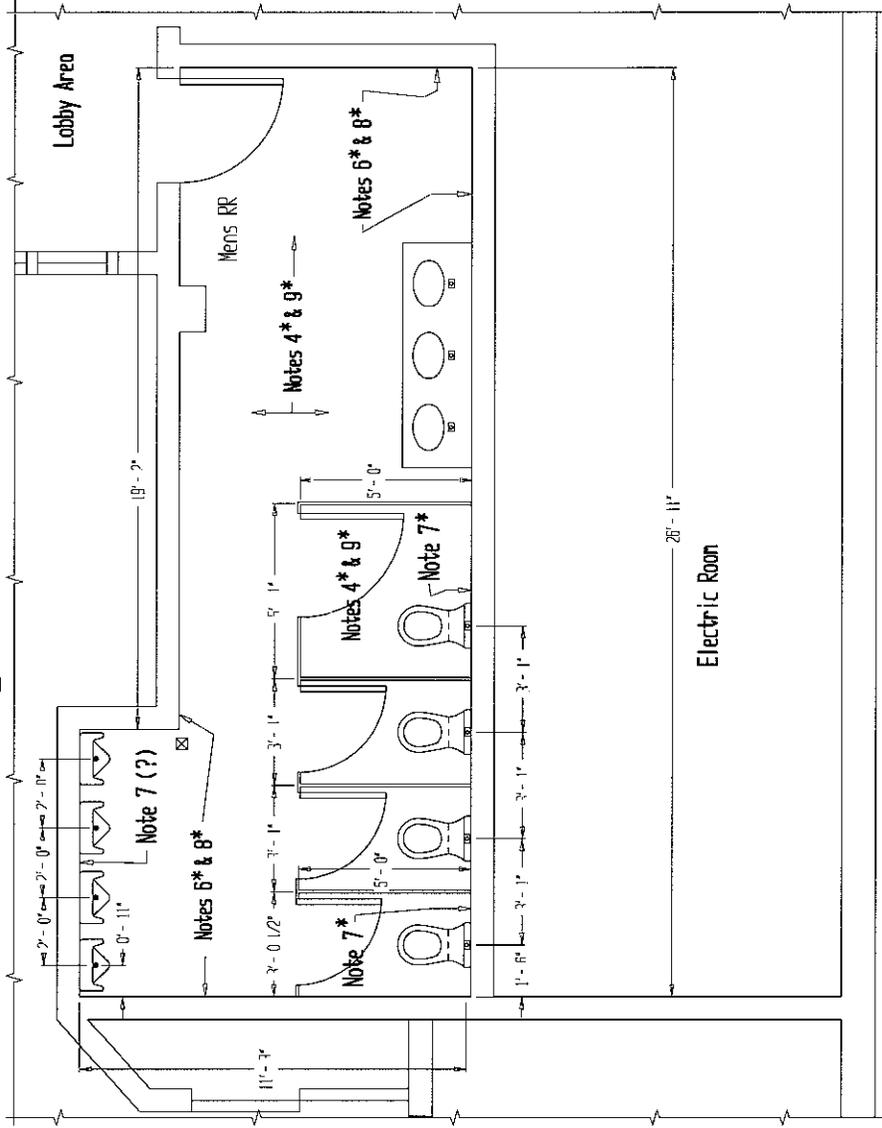
Notes:

1. In the 552 (approximate) Square-Foot (SF) Cross-Hatched Area (which includes the Lobby and that Part of the East-West Hallway West of the Door); Completely Remove the Existing Linoleum-Type Floor Covering; & All Underlying Skin-Coat, Leveling & "Mud-Coat" Layers (& Loose Materials) down to the Concrete Floor Slab. Apply a Standard Leveling Skin (or "Mud") Layer to Obtain the Smooth, Hard, Strong Level Surface Required for the Application of the Carpet-Tile Adhesive. Then, Using College-Furnished 2' x 2' Carpet Tiles (Manufactured by Mohawk Group) Install a 552-SF Carpet-Tile Flooring Surface; the Carpet Tiles are to be Secured by the Quick-Release Adhesive Recommended by Mohawk Group (www.Mohawkgroup.com).
2. ADD ALTERNATE LINE: Indicate the Additional Costs (to be Added to the BASE BID Price) which Apply when the College Directs the Contractor to Remove the Existing Floor Covering & Install Additional College-Furnished Carpet Tiles (All per the Specifications of Note 1) on an Additional, Adjacent Floor Area in the Basement of Donovan DC. The Contractor will be Paid for Properly Installing these Additional Carpet Tiles on a Unit Cost or Square-Foot Basis. Therefore, on the Bid Documents, Contractor is to Indicate the (SF) Unit Cost & Total Cost of Removing Floor Covering & Installing Carpet Tiles on 500 Additional SF of Floor Area.
3. In the Ladies RR, Remove TWO Segments of Existing NON-Load-Bearing 6" Thick Concrete-Block Wall: a 7'-6" Long North-South Segment & a 2'-9" Long East-West Segment. Above or Atop EACH of these Block Walls is an R-C Floor Beam which is to Stay. F&I on 8'-4" Long 6"-Thick (Approximately 7'-6" High) North-South Replacement Concrete Wall having 1/2" Ø Reinforcing Rods @ 24" (Horizontal) & 16" (Vertical) Center-to-Center: All at the Locations Shown on this PLAN. Fill All Cavities & Joints having Re-Bars with Grout. Patch those Parts of the Ceiling (or Under-Sides of the R-C Beams) which had Previously been Concealed Above the Removed Walls. Re-Finish Same to Match the Adjacent, Undisturbed Ceiling (Quality & Texture).
4. In the 250 (approximate) SF Mens RR & in the 282 SF Ladies RR: Completely Remove the Existing 6" x 6" Ceramic-Tile Flooring; & All Underlying Skin-Coat, Leveling & "Mud-Coat" Layers (& Loose Materials) down to the Concrete Floor Slab. Also, in that part of the Existing Storage Room Located East of the Note 3 Wall; Remove Any Floor Covering & All Underlying Skin-Coat, Leveling & "Mud-Coat" Layers (& Loose Materials) down to the Concrete Floor Slab.
5. Within these 2 RR, Remove the Following: All Existing Toilet Partitions; Four Existing Urinals; Nine Existing Toilets; Eight Existing Sinks or Wash Basins, and All of their Associated Vanities or Cabinets. Remove Also All of the Existing Ceiling Lighting Fixtures. All of these Removed Materials & Equipment are to be Disposed-Off OFF-CAMPUS. The Wall-Mounted Lighting Fixtures above the Mirrors are Also to be Removed; but may be Re-Installed.
6. Around the Entire Perimeters of the 2 RR (76'-4" - Mens RR plus 85'-4" - Ladies RR): Remove All Paint from the Masonry-Block Walls & Sufficiently Scrape & Scourity Same to Ensure... CONTINUED ON PLAN: Men's RR Plumbing & Electrical Requirements.

6 July 2011 VDC@entire-rem

J Vickers, Engineer

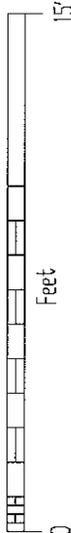
PLAN: Carpet Tile & Demolition Requirements



Additional Abbreviations:

C-T = Ceramic-Tile

Scale:

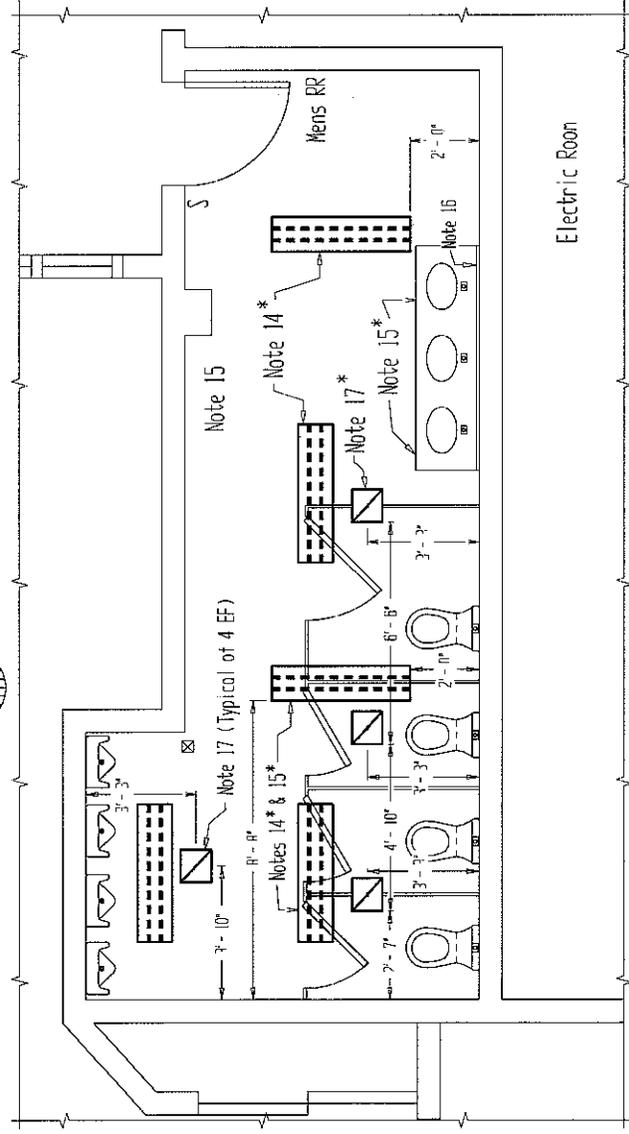


6. CONTINUED...Sufficiently Scrape & Scarify the Masonry-Block Walls, from the R-C Floor Slab to the Ceiling, to Ensure the Required Bond between the Walls & the Specified Adhesive that Contractor will F&I to Secure the Ceramic Wall Tiles & Thereby Finish these Walls.
4. CORRECTION...Do NOT Remove the Existing Ceramic-Tile (C-T) Flooring in these 2 RR. Sufficiently Clean & Scarify & Score ALL of BOTH Existing RR C-T Floors to Ensure Bonding with the Dal-Tile 333 Additive Contractor is then to F&I to Completely (100%) Cover (with Manufacturer-Specified Thickness) All of Both C-T Floors. For ONLY the 2'- 9" x 8' - 4" Floor Area East of the Note 3 Wall, Comply with Note 4 on the PLAN: Carpet Tile & Demolition Requirements. Then, Only in this Area, Apply a Standard Leveling Skin (or "Mud") Layer to Obtain the Required Hard Level Surface at the Surface Elevation Equal to that of the Adjacent Existing C-T Floor. F&I Dal-Tile 333 Additive over this Area per Above.
7. Prior to F&I the "Floor-and-Wall-Combs" Dal-Tile 9" x 12" Glazed C-T Wall Tiles; Perform ALL Required Masonry-Wall Re-Building (& Building). This is to Include Relocating the Existing Support Structures AND F&I the Replacement & Additional Support Structures for All of the Specified Wall-Mounted Replacement Toilets & Urinals, as Described in Detail in Notes 10 & 11 (Mens RR) & in Similar Notes for the Ladies RR. F&I All Required Additional Fasteners, Brackets & Similar Equipment.
8. For Bidding Purposes, Contractor is to Assume that the College will Select (for the C-T of the Walls & Floor in EACH RR) either Dal-Tile's Braccacci Series or Its Birxtton Series, whichever is MORE Expensive. Both of these 2 Series belong to Dal-Tile's "Floor-&Wall Combs" System of Coordinated Wall & Floor Tiles. For Each Floor, F&I 12" x 12" C-T's of ONE Color only. Using Only 9" x 12" C-T that Include All 3 Colors of the Selected Series; & Including Significant Numbers of both Decorative-Accent Tiles & In-Tin Tiles, Contractor is to Submit (to the Engineer for Approval) Proposed Installation Patterns for ALL WALLS in EACH of the 2 RR. Then F&I the Selected-Series Dal-Tile 9" x 12" Wall Tiles with Staggered Joints on All Walls in Both RR according to the Approved Installation Patterns. NO Joint is to be Wider than 1/8". F&I Latite-crete International's #15 Premium Mastic Adhesive in Accordance with the Manufacturer's Instructions (Thickness & Method) to Secure the Wall Tiles to the Masonry Walls (Per Note 6). The Bottom Row of Wall Tiles are to be Curved (Like Cove Base) to Transition into the Floor Tiles.
9. F&I Dal-Tile 12" x 12" Floor Tiles of the Selected Series (Reference: Note 8) & Color to Provide a Ceramic-Tile Floor over the Entire Floor Area of EACH RR. F&I these C-T Floor Tiles with Aligned Joints in Both Directions (NOT Staggered); NO Joint is to be Wider than 1/8". F&I Latite-crete International's #25 Multi-Purpose Platinum Adhesive in Accordance with the Manufacturer's Instructions (Thickness & Method) to Secure the Floor Tiles to the Dal-Tile 333 Additive (Existing-C-T-Floor) Covering Layer (Per Note 4 - CORRECTION).

13 July 2011
NVR:MensRR-Plng&EI

J Vickers, Engineer

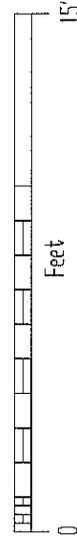
PLAN: Mens RR Plumbing & Electrical Requirements



Notes:

- Remove the 4 Existing Ceiling-Recessed Fluorescent Fixtures. F&I FIVE Sin-Kar LTG TY124-232-B11-L1W Lay-In Prismatic Recessed 1' x 4' (120-V) Lighting Fixtures, EACH having TWO 4'- Long T-8 Fluorescent Lamps & an Electronic Ballast. F&I FOUR Fixtures in the Existing Recesses; F&I the 5th Fixture at the Approximate Location Depicted on this PLAN; But Adjusted as required to Fit Between the R-C Beams Supporting the Floor Above. Because Some Recessed Fixtures are Located where the Ceiling-Hung Corion Partitions would Attach to the Ceiling, Contractor is to Fabricate Both Single-U-Shaped & Double-U-Shaped Brackets: the Top of Every U-Loop is to have 13-1/2" (MIN) Clearance below the Ceiling to Permit College Electricians to Lower & Clean the Hinged Prismatic Lens & Replace the T-8 Lamps. For North-South Oriented Fixtures, One or More Single-U Brackets should Suffice with the Partition's Ceiling Member Attaching to the Bottom of the U-Loop. For East-West Oriented Fixtures, TWO Single-U Brackets may be Required; a Horizontal Member (to which the Partition's Ceiling Member is Attached) could be Installed & Connected to Each of Its Ends to the Bottom of One of the 2 Single-U Brackets. Secure the Top of Each Leg of Every Single-U & Double-U Bracket by a Fastening System that is Firmly Attached to the Top of that Leg & Secured to the Ceiling by 4 Stainless-Steel Fasteners Designed for that Purpose. Contractor is to Use Attractive Steel Members, such as 1" x 1" x 1/8" Square Structure...

Scale:



Additional Abbreviations:

- EF = Exhaust Fan
- G-Steel = galvanized-Steel
- S = Switch * = Typical

14. CONTINUED...Structural Tubing, to Fabricate Both Types of U-Brackets; we do NOT Want these U-Brackets to Adversely Affect the Aesthetics of these Renovated Restrooms. Each of the 5 Lighting Fixtures is to be F&I Complete with Flange Trim (Conversion Kit FT 114) & TWO T-8 Lamps; & is to be Electrically Connected into the Existing Lighting Circuit & Controlled by the Existing Switch.

15. PAINTING Requirements: Contractor is to Use Steel-Primer Paint to Prime All the Components at All Single-U & Double-U Brackets; & Both Support Angles & Both Support Columns of the Corion Sink Basins System Plus All Fasteners. After Priming, Paint All of the U-Bracket Components with Benjamin Moore's Best Midew-Mold-&Moisture-Resistant Ceiling-White Paint. After Priming, Paint All of the Corion Sinks' Angles & Columns with Benjamin Moore's Best Midew-Mold-&Moisture-Resistant Point (Color to be Determined - but to Match the Corion's Color). Re-Paint the Entire Ceiling with Benjamin Moore's Best Midew-Mold-&Moisture-Resistant Ceiling-White Paint.

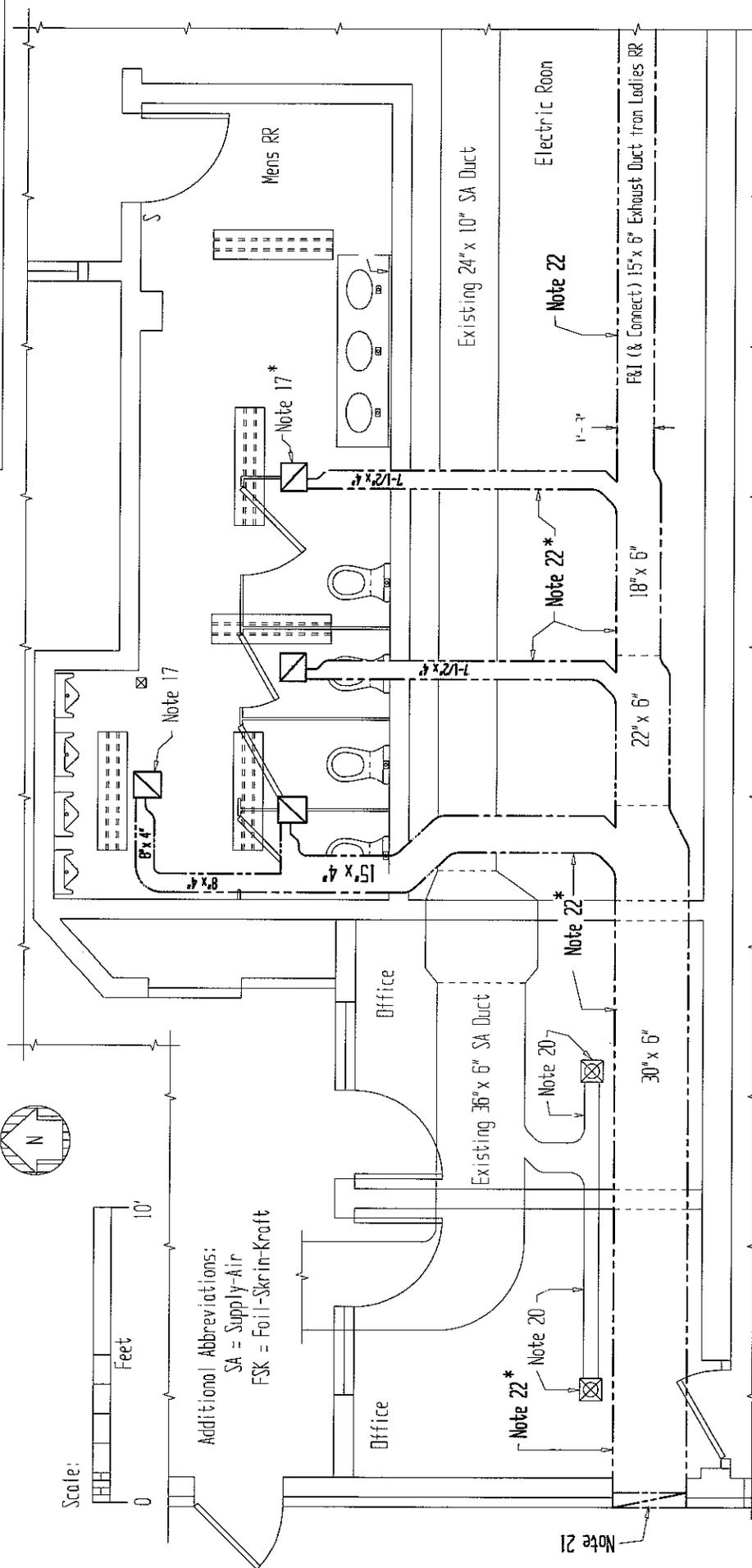
16. Above the BackSplash of the Corion Sink Basins, F&I a 6'- 6" x 3'- 0" High Mirror. Above the Mirror, Re-Install the Existing 8'-Long 4-Tube Fluorescent Lighting Fixture - Centered on the Mirror.

17. Recessed into the RR Ceiling, F&I FOUR NuTone Model GTRN110 110-CFM 120-V Exhaust Fans (Each - 9 Amps) at the Locations Identified on this PLAN. F&I the Required Electrical Conduits (1/2" O EMT) & #12 Copper (THHN) Wiring with Ground Cables & Connect EACH of these 4 Fans into the Existing Lighting Circuit. Whenever the Light Switch is Activated, All 4 Fans will Operate. (But MC Cable may be Used wherever Allowed by the Electric Code). For Each of the 4 Exhaust Fans, F&I a Duct Transition Segment & Connect the Round 4" O Duct Connector into a 7-1/2" (or 8") Wide x 4" G-Steel 24-Gauge Duct. Connect Each of these Ducts into a 30" x 6" Exhaust Duct that Contractor is to F&I in the ER (South of an Existing 24" x 10" Duct) & West through the ER's West Wall; thence West above the Suspended Ceilings of 2 Rooms & through the West Masonry Wall of Donovan DC. F&I a 6" x 30" Spring-Operated Louver to Terminate this Exhaust Duct System on the Outside Surface of this Wall. To Avoid an Adverse Impact on the Clarity of this PLAN: a Separate PLAN: Exhaust Duct Requirements is Provided.

2 August 2011
NDR:MenRR-ElectricalRpts

J Vickers, Engineer

PLAN: Mens RR Electrical Requirements



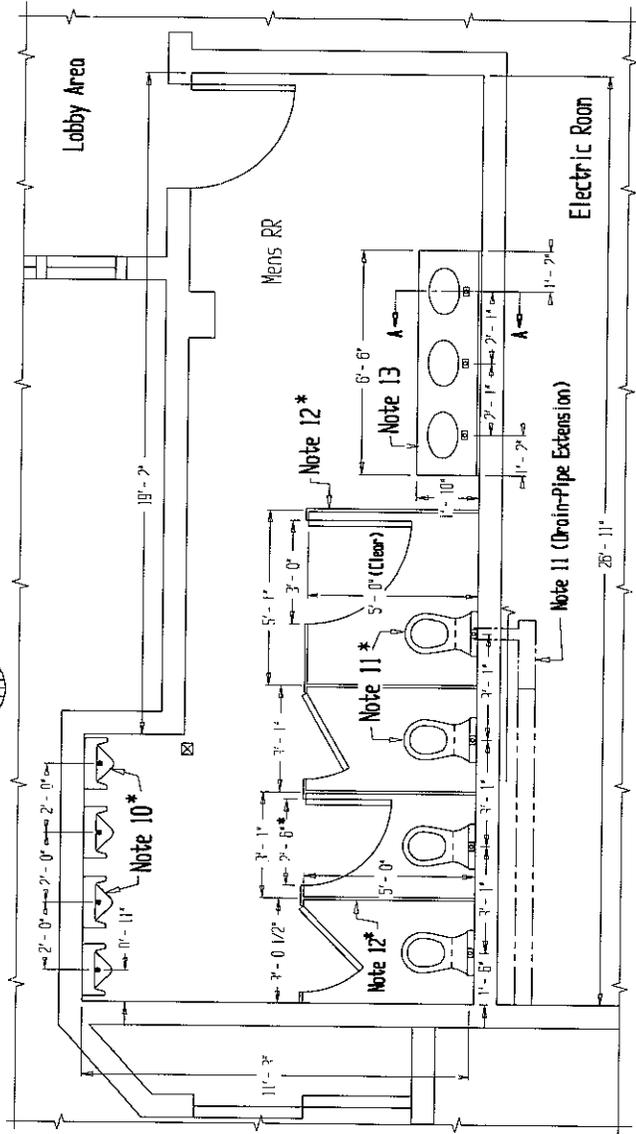
Notes:

- 18. GENERAL: All GENERAL Notes on All PLANS Apply to All work under this Contract, Regardless of the PLAN on which the Note Appears.
- 19. GENERAL: All Ductwork F&I by this Contract is to be of 24 Gauge (or Heavier) & is to be F&I ABOVE the Existing Ceilings in Both RR & in Both Offices (But EXPOSED in the Electric Room). In order to Improve the Clarity of the Ductwork Requirements, Toilet Partitions & Equipment Located Beneath the Above-Ceiling-Installed Ducts are NOT Depicted.
- 20. This is an (Above-Ceiling) 6" Ø SA Duct & Ceiling-Mounted Diffuser that Contractor MAY have to Relocate About 1-1/2' to the North in order to Obtain Sufficient Space to F&I the Required 30" x 6" Exhaust Duct Above the Suspended Ceilings in the 2 Offices.
- 21. At the Outside Surface of this Masonry Wall, F&I a 30" Wide x 6" High Louver System Containing a Spring-Loaded Opposed-Blade Cut-Off Damper
- 22. F&I the Exhaust-Duct System Shown on this PLAN. In order to Reduce Noise, on the Entire 30" x 6" (DNLY) Duct (Including within Walls), F&I 1-1/2" Thick, 3/4-Pound Density Fiberglass Ductwrap with Factory-Applied FSK Jacketing. F&I Stitch Staples to Secure All Longitudinal Seams; F&I Matching FSK Tape to Secure All Circumferential Seams & Punctures. F&I Stick Pins at 18" C-C to Secure All Insulation.

3 August 2011
VOC/VERS/RR-Ducts

J Vickers, Engineer

PLAN: Mens RR Exhaust Duct Requirements



Notes:

13. CONTINUED... F&I 1 Kohler Electronic Faucet Model K-13460 Centered on Each of the 3 Sink Basins; the Corian 3-Basin Sink System is to be F&I with 3 Holes (Sized & Located to Correctly Accommodate these Kohler Faucets) through which the 3 Faucets will be F&I. Each K-13460 Faucet is Equipped with TWO 3/8" D x 24" Long Flexible Supply Hoses having Compression Fittings; for EACH Faucet, Connect One Supply Hose to the Existing CW Supply Piping & One Supply Hose to the Existing HW Supply Piping. Each Corian Sink Basin is Furnished with a Molded-In Overflow; for Each of the 3 Sink Basins, F&I One Kohler Model K-7129-A Lavatory Grid Drain (with Overflow). F&I the Required 1-1/4" D PVC Trap & Piping to Connect this Grid Drain to the Existing Sanitary Waste Piping that Supported the Previously Existing Sinks. F&I a 3/4" Thick Corian BackSplash with 3" Minimum Height atop the 6'-6" Long Junction of the Corian Molded-Sink-Basins Countertop with the Masonry Wall. To Support the 6'-6" Masonry Wall (South) Edge of the Corian Sink System: F&I a 6'-6" Length of 2' x 2' x 1/8" Thick Steel Angle; Drill EIGHT 7/16" D Holes @ 9" C-C in One Leg of the Steel Angle; Screw into the Concrete-Block Wall One 3/8" D x 3" Long Machine-Screw Anchor through Each Hole. Use the Manufacturer-Recommended Adhesive atop the Top Leg of this Angle to Secure the South Edge of the Corian Sink System. To Support the 6'-6" Long North Edge of the Sink System: F&I a 6'-6" Length of 2' x 2' x 1/4" Thick Steel Angle...

Scale:

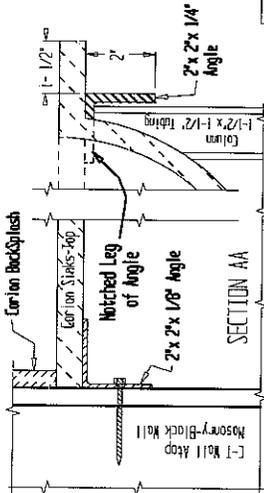


Additional Abbreviations:

HW = Hot-Water AFF = Above Finished Floor
 C-C = Center-to-Center MIN = Minimum

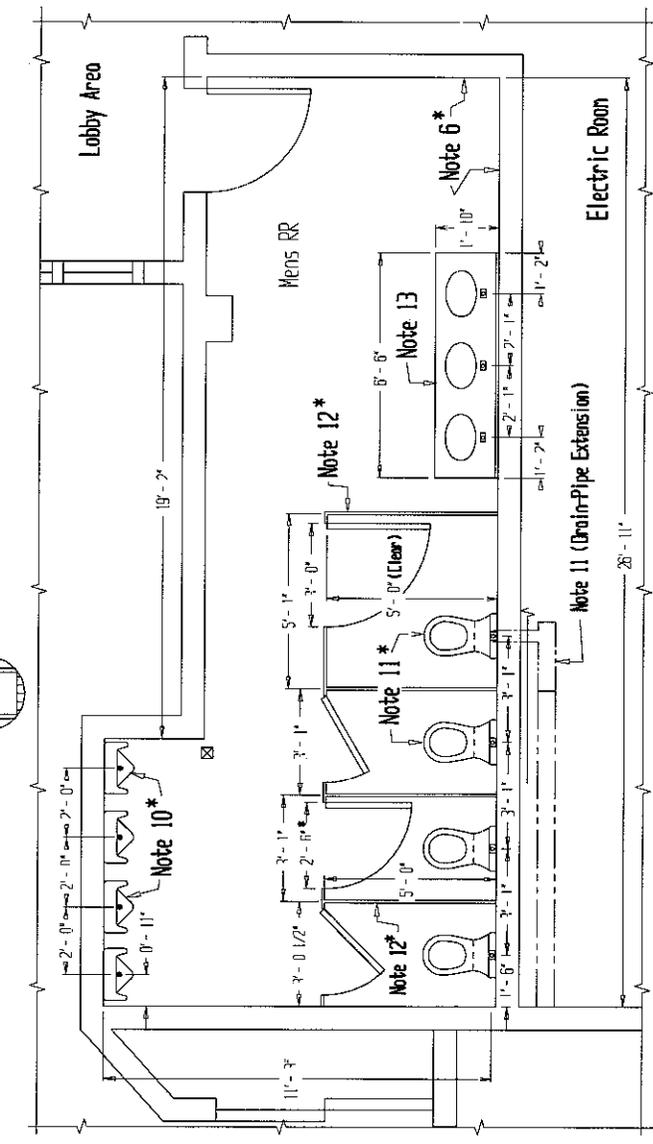
NDC: Mens RR-Plumbing-SW 26 July 2011

13. CONTINUED... Steel Angle; One 2" Leg is to be Vertical & Installed so that the Corian Sinks' Top Surface has MINIMUM Overhang of 1-1/2" North of this Leg. This will require the Horizontal 2" Leg (on which the Corian Surface rests) to be Notched (about 1" Deep x 3" Long) THREE Times to Accommodate the Overflow Tube System of EACH of Three Sink Basins. See SECTION AA to Clarify these Requirements. F&I a 1-1/2" x 1-1/2" x 3/16" Thick Square Structural-Steel Tubing Column to Support Each End of this (North) Support Angle; the Top of Each (of the 2) Columns is to Fit Snugly under the Angle's Horizontal Leg & About the Vertical Leg. At Each End of the Angle, DRILL TWO 7/16" D Holes through the Vertical Leg (3/8" Above & 3/8" Below Its Center BUT 3/4" OffSet) & then through Both Sides of the EACH Column. F&I a Total of FOUR 3/8" D Stainless-Steel Bolts with Nuts & Lock Washers to Secure Each End of this Support Angle. This Entire Corian Sink Basin System is to be F&I to 100% Comply with ALL Applicable ADA Requirements; therefore, the Height of Each Column & the Elevation of the Masonry-Wall (2' x 2' x 1/8" Angle are to be Adjusted so that the Sink Basins' Corian Top Surface is at ADA-Specified Elevation AFF. To Anchor the Base of Each Column, Core-Drill a 2-1/4" D Hole Down through the C-1 Floor & 3" (MIN) Deep into the Concrete Slab (a 2" D Hole is slightly too Small to Accommodate a 1-1/2" x 1-1/2" Steel Tube). Assuming the Sink Basins' Top is 1'-10" (North-South), the Center of Each Hole should be about 1'-7-1/2" North of the South Wall's C-1 Surface. F&I a 2-Part Epoxy Non-Shrinking Grout to a most Fill Each Hole; then Insert the 2 Columns Supporting the North 6'-6" Long Angle. Adding (if Necessary) & Finishing the Grout at the same Surface Elevation as that of the Adjacent Ceramic Floor Tiles. Insulate the HW & CW & Drain Piping & F&I All such Piping High enough Under the Sink Basins System to Satisfy ADA Requirements. Corian Sinks are Available at Humphrey's (See Note 12). Steel Angles & Tubing are Available at Bloomfield Steel, Allens Avenue, Providence.



J Vickers, Engineer

PLAN: STILL MORE Mens RR Plumbing & Electrical Requirements



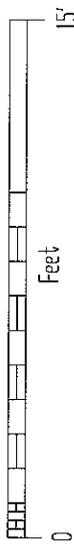
Notes:

10. F&I FOUR Replacement Kohler Model K-5016-EI Urinals at approximately the Same Locations as the Existing Urinals & with the Center-to-Center Dimensions as Indicated on this PLAN. With EACH Replacement Urinal, F&I the Kohler Model K-10573 Exposed-Wave Flush Valve (Including the 9-V Lithium Battery). Perform the "Rough" Plumbing & Electrical Work & Comply with Note 7 before F&I the C-T Walls (per Note 8); Adjust the Existing Masonry-Wall-Mounted Urinal Support Structures as Required to Accommodate the Replacement Urinals; OR F&I Onto & Within this Masonry Wall the Required Brackets, Hardware, Fasteners & Support Structures in order to Securely Support the 4 Replacement Urinals. Alter & Adjust the Water & Sanitary-Drain Piping as Required; F&I Any Required Additional Piping & Fittings; & Perform the Plumbing Required to Connect Each Urinal & Its Flush Valve to the Existing Water-Supply & Sanitary-Drain Piping Systems - All per Applicable Code Specifications.

11. F&I FOUR Replacement Kohler Model K4323 Wall-Mounted Toilets (Bowls) at the Locations Depicted on this PLAN. With EACH Replacement Toilet, F&I the Kohler Model K-10573 Exposed-Wave Flush Valve (with 9-V Lithium Battery). Before F&I the C-T Walls of Note 8, Re-Build the Existing 6" Thick South Masonry RR Wall & Support Structures as Required to Accommodate the Replacement Toilets at the Locations Depicted on this PLAN; OR F&I Onto & ...

Scale:

Additional Abbreviations:
 CW = Cold-Water
 IAW = In Accordance With



0 15' Feet

NOI MensRR-PlumbE-Add

20 July 2011

11. CONTINUED... Within this Masonry Wall the Required Brackets, Hardware, Fasteners & Support Structures in order to Securely Support the 4 Replacement Toilets. Alter & Adjust the Water & Sanitary-Drain Piping as Required; F&I Any Required Additional Piping & Fittings; & Perform the Plumbing Required to Connect Each Toilet & Its Flush Valve to the Existing Water-Supply & Sanitary-Drain Piping Systems - All per Applicable Code Specifications. Because the Toilet in the Handicapped Stall is to be F&I about 1'-7" East of the Existing Easternmost Toilet, the Existing 6" O Cast-Iron Tee-Wye at the East End of the Exposed Sanitary-Drain Line in the ER must be Replaced by a Double-Tee-Wye Fitting; & the Sanitary-Drain Pipe Extended to Connect into this Easternmost Toilet. The Existing CW Supply Piping must be Similarly Extended & Connected to EACH of the 4 Replacement Toilets being F&I by this Contract. F&I the Toilet in the Handicapped Stall at the Code-Required Elevation AFF. On Each of the 4 Toilets, F&I One Kohler Model K-4731 Commercial Toilet Seat.

9. ADDED: The Daltile 12" x 12" C-T Floor Tiles F&I in Both RR are Also Required to be SKID-FREE.

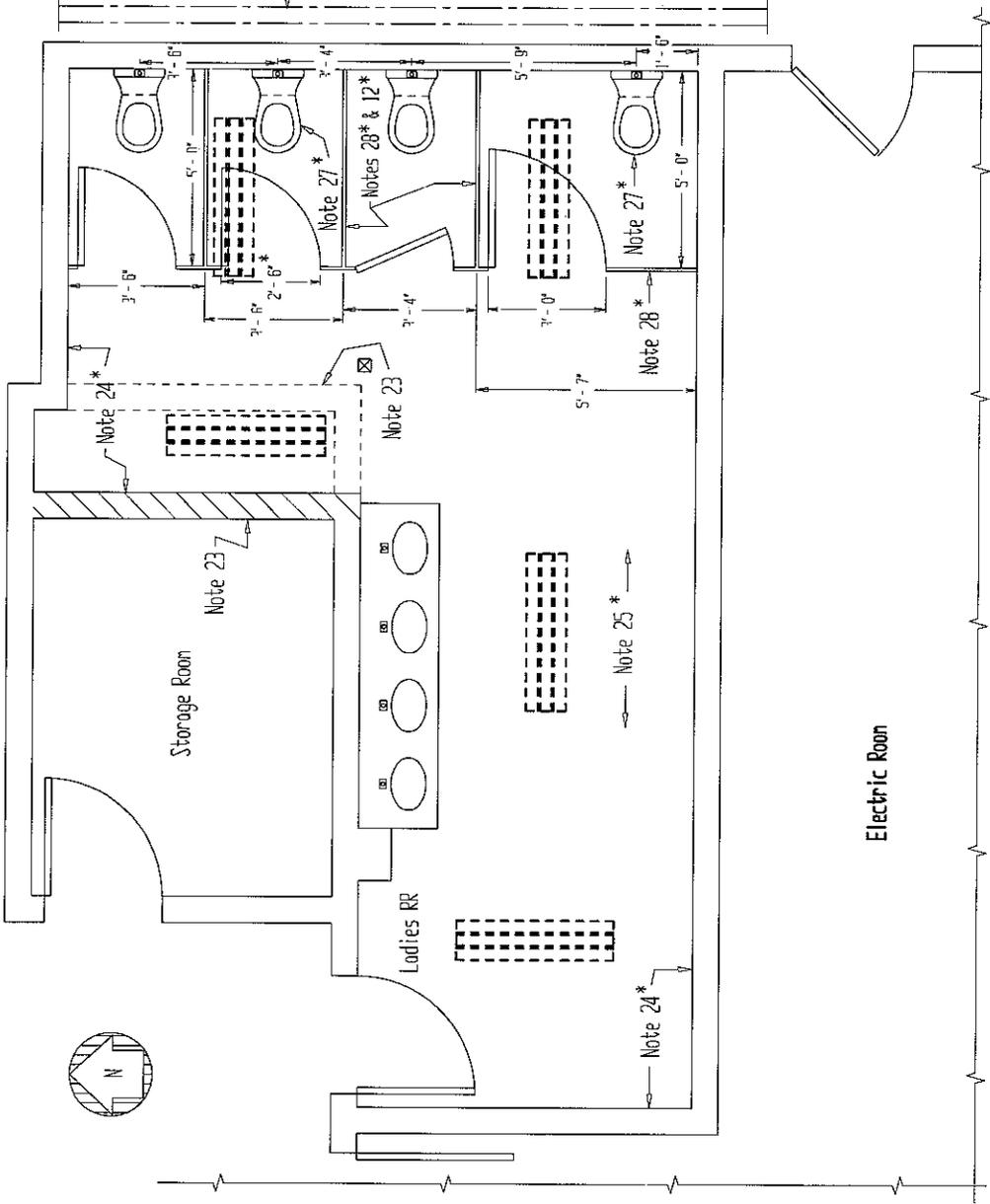
12. In this Mens RR, F&I FOUR Sets of Ceiling-Hung Corion 1"-Thick Toilet Partitions with 1"-Thick Corion Doors. All IAW this PLAN; Three are to have CLEAR Interior Dimensions of 3'-0" x 5'-0". The Handicapped Stall is to have CLEAR Interior Dimensions of 5'-0" x 5'-0". Securely Fasten Each Partition to the Ceiling & the South Masonry Wall in accordance with (IAW) the Manufacturer's Instructions; AND, because of the Severe Usage to which the Partitions will be Subjected, F&I TWO ADDITIONAL Partition-to-South-Wall Bracket-Fastener Systems on Each North-South Partition Junction with this South Wall. These Specified Partitions are available at Humphrey's Building Supply Center in Tiverton (Call at 401-624-9800). At Contract Completion, F&I the Engineer with One Gallon of the Cleaning Liquid Specifically Designed to Remove Graffiti from Corion Partitions.

13. F&I the Corion 3-Basin Sink System having THREE 16-1/2" x 13-1/4" Oval-Shaped Sink Basins Mounted into the Corion Countertop; & having the Dimensions Shown on this PLAN. F&I 1 Kohler Electronic Faucet Model K-13450 Centered on Each of the 3 Sink Basins...

CONTINUED ON PLAN: STILL MORE Mens RR Plumbing & Electrical Requirements.

J Vickers, Engineer

PLAN: ADDITIONAL Mens RR Plumbing & Electrical Requirements



Notes:

- 23. To Improve the Clarity of this PLAN, the Ladies RR's Overall Dimensions Provided on the PLAN: Carpet Tile & Demolition Requirements are NOT Repeated on this PLAN. Relocate the Wall AND Repair & Re-Finish the Ceiling in Compliance with Note 3.
- 24. For the Walls, Comply with Notes 6, 7 and 8.
- 25. For the Floors, Comply with Notes 4 CORRECTION and 9.

Note 26

26. This is the Existing, EXPOSED 4" D Sanitary Drain Line for the Ladies RR.

12. CORRECTION: Since Corian Toilet Partitions are Apparently NO Longer Available, Contractor is to F&I Only "Swanstone" Toilet Partitions to Satisfy ALL Toilet-Partition Requirements of this Contract (Color to be Determined). ASSUME, for Bidding Purposes, that We will Ultimately Select "Bernudo-Sand" as the Color for All Toilet Partitions. All Other Requirements of Note 12 Continue to Apply. Swanstone Toilet Partitions are Available at Humphrey's (Cor/Tino e 401-624-8800).

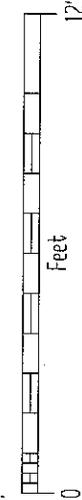
27. In this Ladies RR, F&I FOUR Replacement Kohler Model K4323 Wall-Mounted Toilets (Bows) at the Locations Designated on this PLAN. Comply Completely with All Note 11 Requirements: to include F&I Auxiliary Equipment, Wall Support Structures (& Brackets, Hardware, Fasteners), Connections to the CW-Supply & Sanitary-Drain Piping. The Southermost Toilet is to Satisfy All Requirements for a Handicapped-Accessible Toilet.

28. In the Ladies RR, F&I FOUR Sets of Ceiling-Hung Swanstone 1"-Thick Toilet Partitions with 1"-thick Swanstone Doors, All IAW this PLAN. All the Requirements of Note 12 Apply with 2 EXCEPTIONS: F&I Swanstone (NOT Corian) Partitions with Doors & Secure the Partitions (Each with 2 Additional Fastener-Bracket Systems) to the East (Not South) Masonry Wall. Because of the Location & Orientation of the Ceiling-Recessed Fluorescent Lighting Fixtures (Located Over the Doors & Not Over the Partitions), It Appears that the Contractor will Not have to F&I Nor Paint Single-IJ & Double-IJ Brackets to Secure the Ceiling-Hung Partitions to the Ceiling. If Such Fastener-Bracket Systems are Needed, Comply with All the Requirements of Notes 14 & 15.

Additional Abbreviations:

- * = Typical
- IAW = In Accordance With

Scale:



8 August 2011 NDR:Wmens@R-PIbgdE1

J Vickers, Engineer

PLAN: Ladies' RR Plumbing & Architectural Requirements