

DATE: 11/8/13

ADDENDUM #1

BID NO. : RFP7050
OPENING: 11/18/13 at 3:00pm
COMMODITY: URI FY14 Facilities & Administrative (F&A) Rate Proposal Development
and rate negotiation consultant

This RFP Opening has been rescheduled from 11/14/13 to 11/18/13 at 3:00pm

This Addendum is the result of a number of questions posted to the requesting department . The questions and their corresponding answers are listed below:

Q1:

RFP Section 2-Scope of work, Specific Requirements (page 3)- This section mentions that the Facilities & Administrative (F&A) Proposal will be based in part upon "research related infrastructure capital investments FY2014-18". Is this an official state or University document which details new research-intensive buildings or structures in terms of acquisition costs, square footage and so forth?

A1:

There is a "Capital Improvement Plan" document which includes potential current and future contemplated capital projects for all of Rhode Island Higher Education Institutions. URI is listed separately. Projected costs are listed however square footage is not consistently presented. For the prior F&A proposal, HHS informed URI that it needed to prepare projections for future years due to the impact of ARRA . We left this requirement in the current year proposal in case it is deemed to be an ongoing requirement even if ARRA funds are not being used.

Q2:

RFP Section 5-Scope of Work, Evaluation and Selection (page 9)

The fourth point cites the "Current Research Information System (CRIS)." however in subsequent passages, "CRIS" is defined as the MAXIMUS "Comprehensive Rate Information System". Are these the same or different systems?

A2:

They are the same system.

Q3:

RFP Phase 1- "F&A Proposal Preparation", 4th page . The first sentence cites that the selected bidder's assessment will include "The development of the projection package". Is there a current estimate of how many buildings/structures the University plans to include in a separate Proposal of Facility Cost Projections for transmittal to the Division of Cost Allocation (DCA)?

A3:

See answer to Q1 above: the "Capital Improvement Plan" would be reviewed with the URI Capital Projects staff to assess which projects, if any, should be included in such an assessment.

Q4:

RFP Phase 1- "F&A Proposal Preparation", 4th page. The "Documents for Review" section mentions several CRIS schedules "from the most recent rate proposals". At the time of "Phase 1" Planning and Assessment ,may we assume that these schedules will encompass only data from the University's prior fiscal year 2009 F&A Rate Proposal as submitted to DCA?

A4:

yes, that is correct.

Q5:

RFP Phase 2- "F&A Proposal Preparation", 5th page. Understanding that future events are difficult to predict...

a)Under Phase 2, based on prior experience, does the University have an estimate of the volume of questions or the number of hours that the selected bidder will be required to "Answer any questions that might arise during the preparation of the proposal" ?

A5a: Estimated 10-15 hours. However current year requirements may differ.

b)Does the University anticipate that the selected bidder will need to conduct on-site visits to campus?

A5b: Yes , at least one

c) Based upon prior University experience, is there an estimate of the number of "periodic reviews" of draft proposals that the selected vendor will need to make ?

A5c: estimated 2 to 3 reviews . However current year requirements may differ.

d) Per the RFP ,the selected bidder must "make recommendations before submitting final version to the Government". Does the University envision that this step will embody a full "diagnostic /critical review" of the F&A Proposal?

A5d: Yes

Q6:

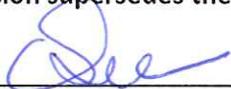
RFP Phase 1- Projections , 4th page . Could you send a list of the new buildings that will be included in the work that the contractor will be doing for the projection segment? Please include building names, acquisition cost, date place in service, any cost borne by the federal government and a summary of space utilization(e.g. research, instruction, etc..) .

A6:

See answer to Q1) above. Without direct confirmation from URI Capital Projects, there may be an estimated 1-5 new structures to include in the forecast, depending on their assessment as to the likelihood of approval, funding, etc.....

From Fiscal Year 2009 thru Fiscal Year 2014 we added two new buildings on campus with some space utilization for research in each. Capital Projects has currently listed an estimated 5 possible new structures to be built pending approval and funding . There is no way to know at this time if these structures will be approved during the duration of this contract.

If you have already submitted a bid and need to make any changes , based on information within the Addendum , please submit a new bid response and indicate that this submission supersedes the prior.



Debra Lee

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