

Rhode Island College Donovan Dining Exterior Window Improvements

600 Mt. Pleasant Avenue
Providence, Rhode Island 02908



KITE Architects, Inc.

3 Central Street
Providence, Rhode Island
02907

TEL 401 272.0240
info@kitearchitects.com

GENERAL NOTES

- ALL WORK PERFORMED SHALL COMPLY WITH THE CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS, INCLUDING THESE GENERAL NOTES.
- NO DEVIATION FROM CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE ARCHITECT.
- THE ORGANIZATION OF THE DRAWINGS AND SPECIFICATIONS SHALL NOT CONTROL THE CONTRACTOR IN DIVIDING THE WORK AMONG SUBCONTRACTORS OR IN ESTABLISHING THE EXTENT OF THE WORK TO BE PERFORMED BY ANY TRADE UNLESS SPECIFICALLY REQUIRED.
- CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE DOCUMENTS WITH EXISTING CONDITIONS AT JOB SITE. CONTRACTOR SHALL REPORT TO ARCHITECT, AT ONCE, ERRORS, DISCREPANCIES, PRODUCTS, SYSTEMS, PROCEDURES, AND CONSTRUCTION METHODS SHOWN OR SPECIFIED WHICH ARE INCORRECT, INADEQUATE, OBSOLETE, OR UNSUITABLE FOR ACTUAL FIELD CONDITIONS, OR WHICH THE CONTRACTOR WOULD NOT WARRANT AS REQUIRED BY CONTRACT DOCUMENTS. DO NOT PROCEED WITH WORK IN AREAS WHERE ERRORS, DISCREPANCIES, INCONSISTENCIES, OR OMISSIONS ARE FOUND WITHOUT ARCHITECT'S INSTRUCTIONS.
- THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING WORK AS REQUIRED TO EXECUTE THE WORK SHOWN ON THE DRAWINGS. WHERE CUTTING OF EXISTING SURFACES OR REMOVAL OF EXISTING FINISHES IS REQUIRED TO PERFORM WORK UNDER THIS CONTRACT, AND NEW FINISH IS NOT INDICATED, FILL RESULTING OPENINGS AND PATCH THE SURFACE AFTER DOING THE WORK AND FINISH TO MATCH ADJACENT EXISTING SURFACES. PATCHES AND REPAIRS SHALL EXACTLY MATCH EXISTING ADJACENT WORK IN ALL RESPECTS AND SHALL NOT BE OBVIOUS AS PATCHING.
- ALL MATERIALS NOTED ON THE DOCUMENT ARE TO BE NEW, UNLESS SPECIFICALLY NOTED OTHERWISE.
- IN ADDITION TO ANY WARRANTIES OR GUARANTEES REQUIRED BY VARIOUS SECTIONS OF THE SPECIFICATIONS, THE CONTRACTOR GUARANTEES BY HIS ACCEPTANCE OF THE CONTRACT, THAT ALL WORK INSTALLED WILL BE FREE FROM ANY AND ALL DEFECTS IN WORKMANSHIP AND/OR MATERIALS, AND ALL APPARATUS WILL DEVELOP CAPACITIES AND CHARACTERISTICS SPECIFIED, AND IF, DURING THE PERIOD OF ONE YEAR, OR AS OTHERWISE SPECIFIED, AND IF, FROM DATE OF CERTIFICATE OF COMPLETION AND ACCEPTANCE OF THE WORK, ANY SUCH DEFECTS IN WORKMANSHIP, MATERIALS, OR PERFORMANCE APPEAR, THE CONTRACTOR WILL, WITHOUT COST TO THE OWNER, REMEDY SUCH DEFECTS WITHIN A REASONABLE TIME TO BE SPECIFIED IN NOTICE FROM THE ARCHITECT. IN DEFAULT THEREOF, THE OWNER MAY HAVE SUCH WORK DONE AND CHARGE COST TO THE CONTRACTOR.
- CONTRACTOR SHALL PROPERLY AND LEGALLY DISPOSE OF ALL WASTE MATERIALS.
- THE CONTRACTOR SHALL MAINTAIN THE BUILDING AND SITE IN AN ACCEPTABLE STANDARD OF CLEANLINESS. CONSTRUCTION DEBRIS AND FOOD AND BEVERAGE CONTAINERS SHALL BE REMOVED ON A REGULAR BASIS.
- DO NOT SCALE DRAWINGS. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES DEPICTED ON DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES AND CONDITIONS AT THE SITE PRIOR TO COMMENCING WITH THE WORK, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING.
- WHERE A TYPICAL CONDITION IS DETAILED, IT SHALL BE UNDERSTOOD THAT ALL LIKE OR SIMILAR CONDITIONS ARE THE SAME UNLESS SPECIFICALLY NOTED OR DETAILED OTHERWISE.
- ALL UNEXPOSED WOOD PRODUCTS SHALL BE FIRE-RETARDANT, TREATED WOOD

DRAWING SYMBOLS

- 100'-0" NEW SPOT ELEVATION
- T/WALL 100'-0" ELEVATION DATUM LINE
- A WINDOW SYSTEM TYPE
- A EXISTING COLUMN GRID LINE
- A BUILDING SECTION 1 WALL SECTION SECTION MARKER
A4.01 DRAWING REFERENCE
- 00.00 KEYNOTE
- A ENLARGED PLAN 1 DETAIL DETAIL BUBBLE
A7.01
- REVISION SYMBOL
- 1 Detail Title 1/4"=1'-0"
A8.01 Description / Location

DIMENSION KEY

- POINTFACE OF WALL DIMENSION
- CENTER LINE DIMENSION

MATERIAL LEGEND

- EARTH
- POROUS FILL
- CONCRETE
- CONC. MASONRY UNIT
- STEEL
- ALUMINUM
- WOOD
- PLYWOOD
- PARTICLE BOARD/MDF
- ROUGH CARPENTRY
- BATT INSULATION
- RIGID INSULATION
- PLASTER, SAND, GROUT
- GYPSUM WALL BOARD
- GLASS

LIST OF DRAWINGS

- | | |
|------|---------------------|
| A0.1 | COVER SHEET & NOTES |
| A1.1 | BUILDING ELEVATIONS |
| A1.2 | BUILDING ELEVATIONS |
| A2.1 | WALL SECTIONS |
| A3.1 | EXTERIOR DETAILS |
| A3.2 | EXTERIOR DETAILS |



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PROJECT NO. 1310.02

NO.	DATE	ISSUED FOR
	06.09.14	SFM/SBC REVIEW
	09.11.14	BID SET

COVER & NOTES

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A0.1



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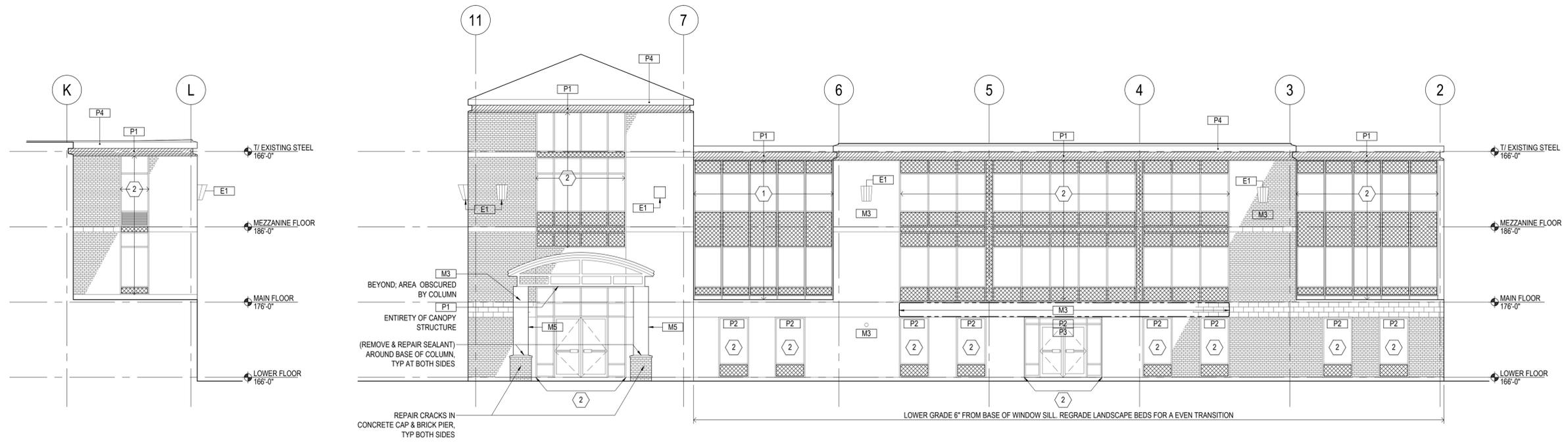
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BUILDING ELEVATIONS

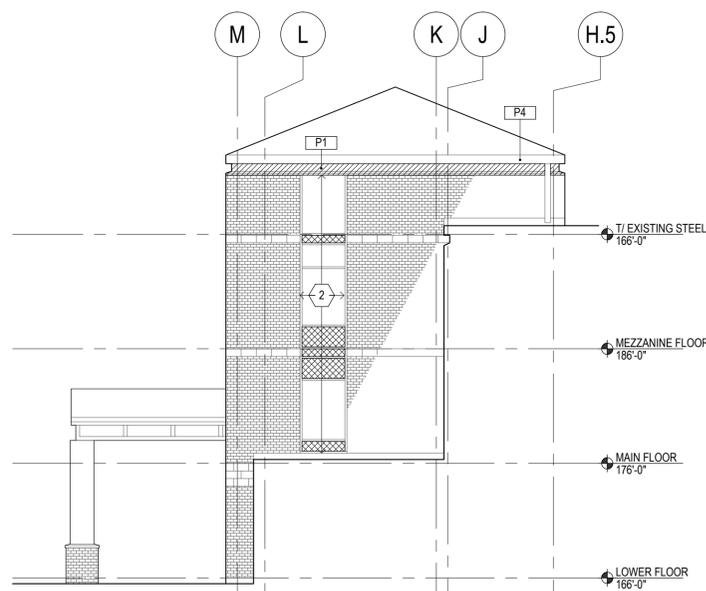
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A1.1

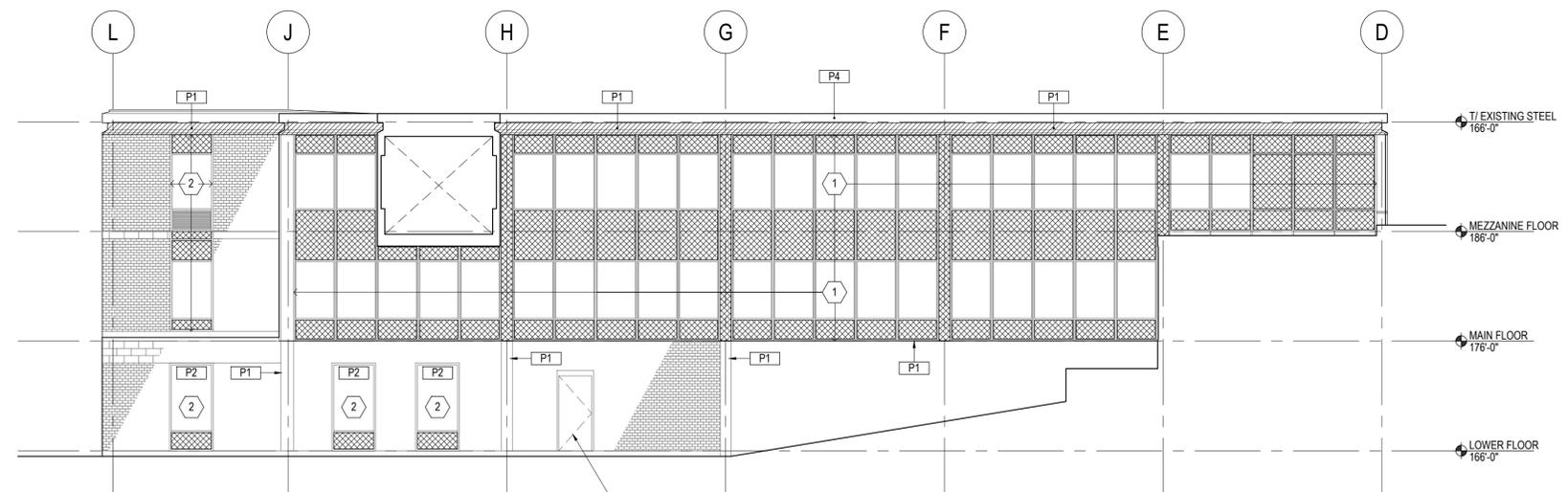


4 PARTIAL EAST ELEVATION 1/8" = 1'-0"

3 NORTH ELEVATION 1/8" = 1'-0"



2 PARTIAL WEST ELEVATION 1/8" = 1'-0"



1 WEST ELEVATION 1/8" = 1'-0"

KEYNOTES

WINDOW SYSTEM KEY

1 SEQUENCE OF RESTORATION WORK:
 1. Remove existing sealant joints & backing material
 2. Clean aluminum window frames
 4. Install new metal composite spandrel panels
 5. Replace damaged insulated glass units
 6. Install new perimeter sealant joints
 7. Install new seals at insulated glass unit and metal composite spandrel panels

2 SEQUENCE OF RESTORATION WORK:
 1. Remove existing sealant joints & backing material
 2. Clean aluminum window frames
 3. Install new metal composite spandrel panels
 4. Replace damaged insulated glass units
 5. Install new perimeter sealant joints
 6. Install new gasketing at insulated glass unit and metal composite spandrel panels

MAINTENANCE OF MASONRY (REF. SPEC SECTION 04 01 00)

KEYNOTES:
 M1 CLEAN AREA OF EFFLORESCENCE BUILD UP
 M2 CLEAN AREA OF HEAVY BIOLOGICAL, ATMOSPHERIC AND/OR RUST STAINING. MASONRY CONTROL JOINT. CUT OUT EXISTING SEALANT JOINT AND BACKING MATERIAL. CLEAN AND PREPARE JOINT WALL SURFACES AS REQUIRED FOR INSTALLATION OF NEW
 M4 SEALANT AND BACKING MATERIAL
 M5 CUT OUT EXISTING MORTAR JOINT AND REPOINT.
 M6 (SPALLING OF CONCRETE PARGE)
 REPAIR CRACK IN CONCRETE

ALUMINUM FRAMED STOREFRONT (REF. SPEC SECTION 08 43 13)

1 REMOVE EXISTING INSULATED METAL PANEL AND INSTALL NEW INSULATED METAL PANEL.

PAINT (REF. SPEC SECTION 09 90 00)

P1 EXISTING SHEET METAL - STRIP EXISTING PAINT/FINISH; APPLY PRIMER & PAINT SURFACE.

P2 REMOVE OXIDATION AND RECOAT EXPOSED STEEL LINTEL.
 P3 PREPARE AND REPAINT METAL SOFFIT
 P4 ALUMINUM RESTORATION; SEE SPEC SECTION 05 90 00

SEALANT (REF. SPEC SECTION 07 90 05)

S1 WINDOW PERIMETER SEALANT REPLACEMENT - CUT OUT EXISTING SEALANT JOINT AND BACKING MATERIAL. CLEAN AND PREPARE JOINT WALL SURFACES AS REQUIRED FOR INSTALLATION OF NEW SEALANT AND BACKING MATERIAL.

ELECTRICAL

E1 REPLACE EXISTING LIGHT FIXTURE.
 BASIS OF DESIGN:
 DESC: 26" X 12" WALL MOUNTED SCONCE, 120V
 MFR: BETA-CALCO
 MODEL NO: 31 2224
 LAMP TYPE: 32W LED 3000K 2720lm
 COLOR: BL BLACK



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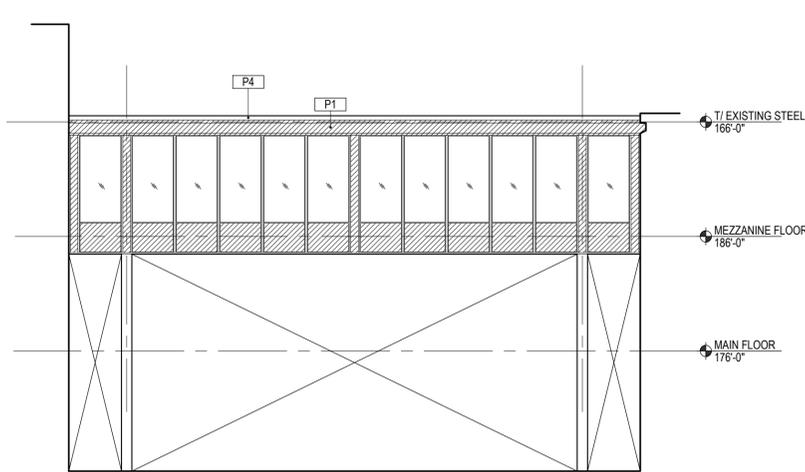
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BUILDING ELEVATIONS

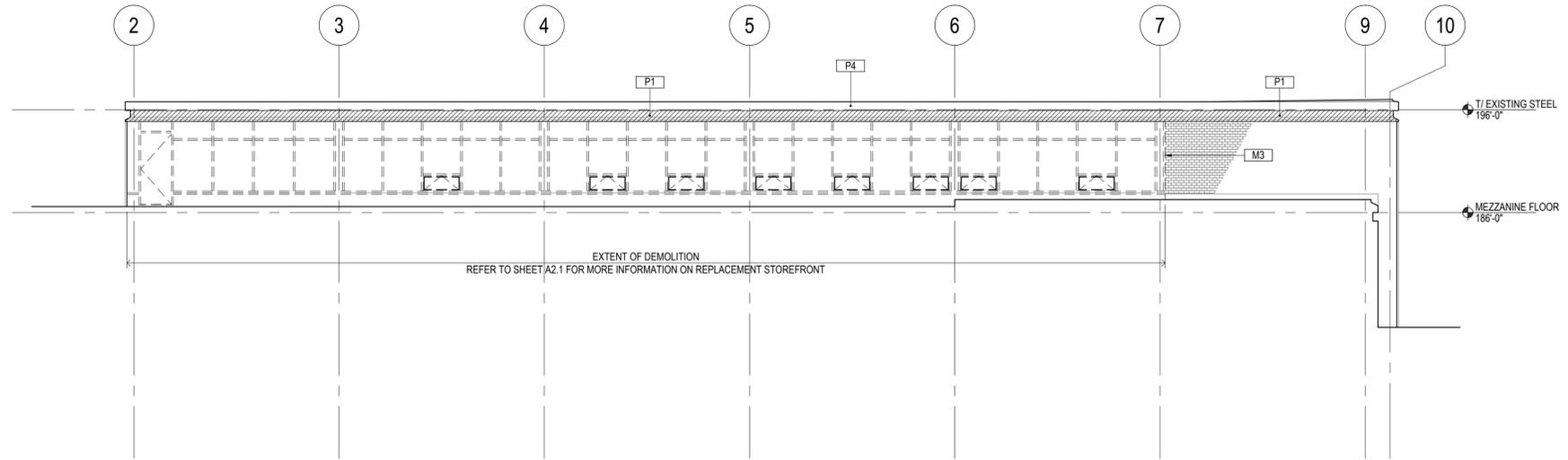
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A1.2



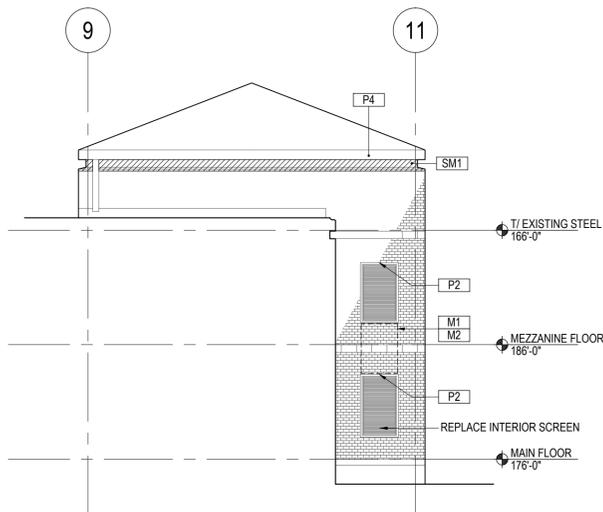
4 PARTIAL SOUTH ELEVATION
BRIDGE (NORTH SIM. OPH.)

1/8" = 1'-0"



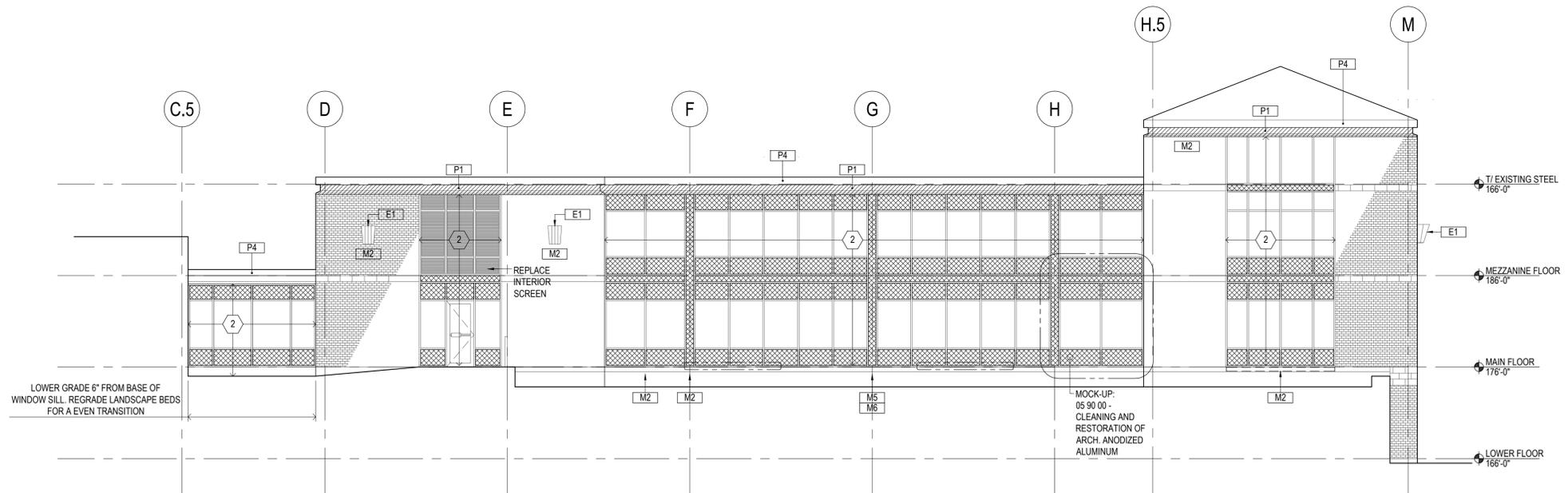
3 SOUTH ELEVATION

1/8" = 1'-0"



2 PARTIAL SOUTH ELEVATION

1/8" = 1'-0"



1 EAST ELEVATION

1/8" = 1'-0"

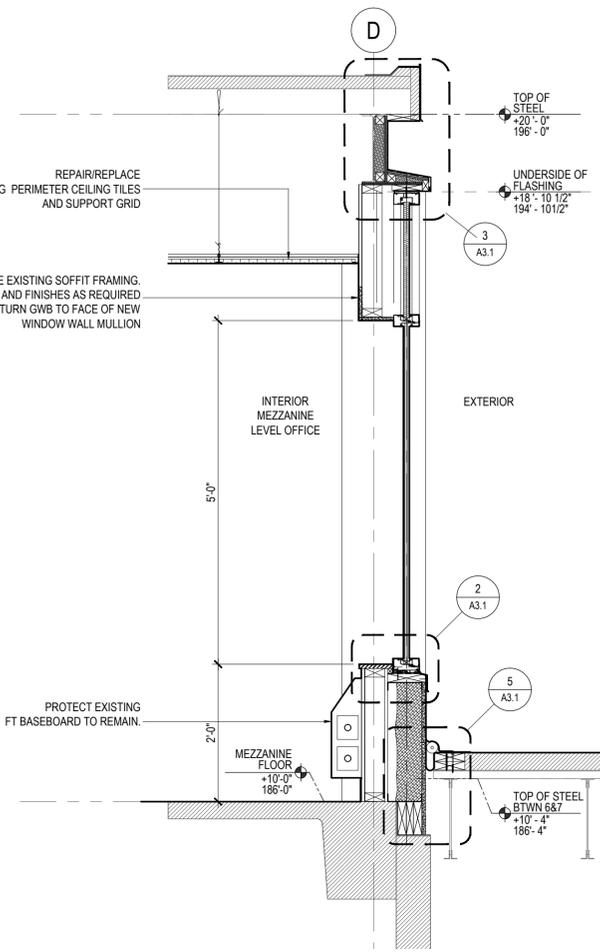
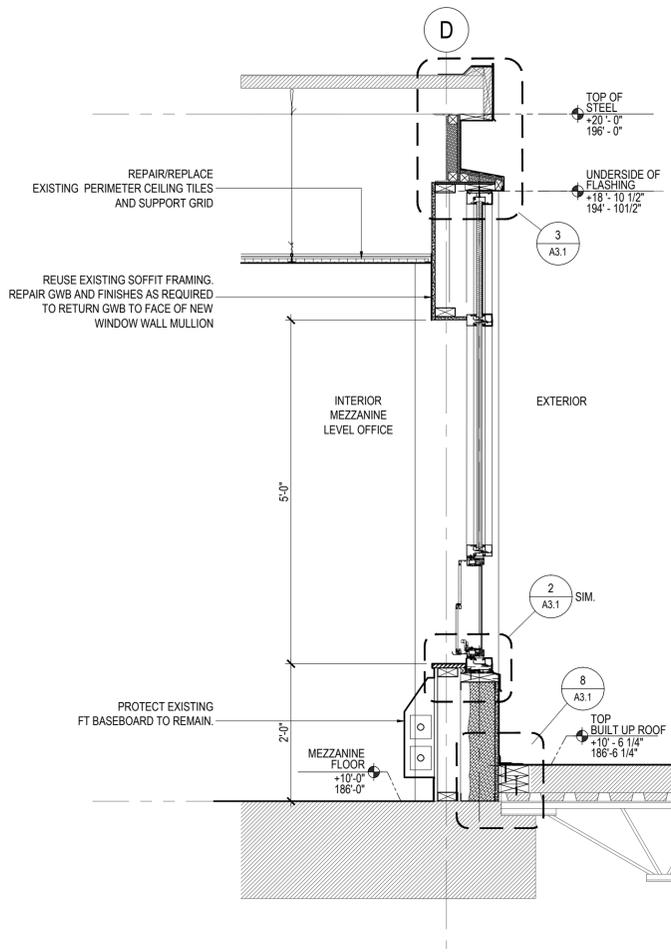
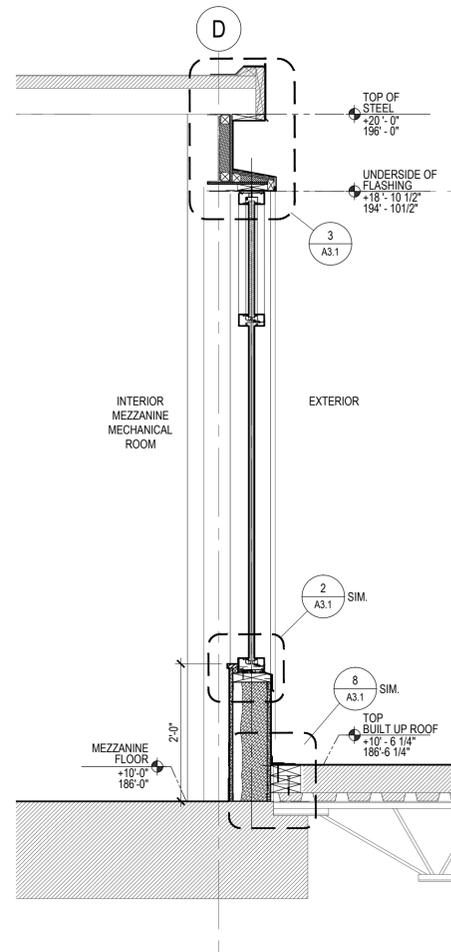
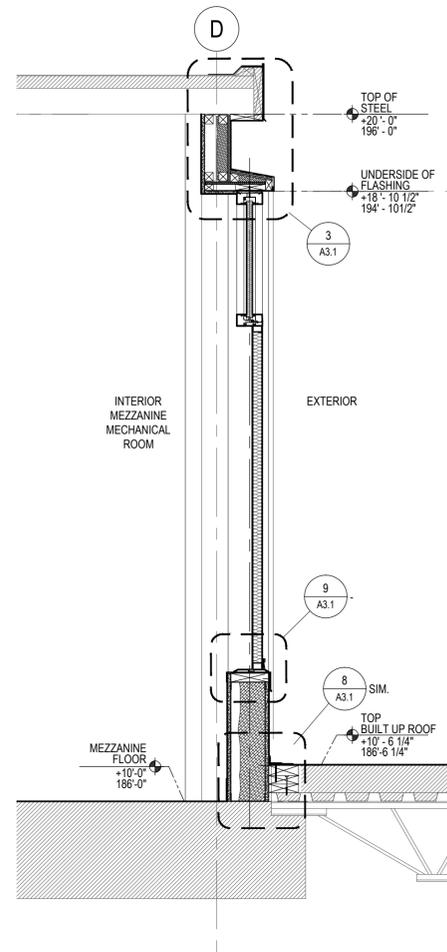
KEYNOTES							
WINDOW SYSTEM KEY							
<p>1</p> <p>SEQUENCE OF RESTORATION WORK:</p> <ol style="list-style-type: none"> 1. Remove existing sealant joints & backing material 2. Clean aluminum window frames 4. Install new metal composite spandrel panels 5. Replace damaged insulated glass units 6. Install new perimeter sealant joints 7. Install new seals at insulated glass unit and metal composite spandrel panels 	<p>2</p> <p>SEQUENCE OF RESTORATION WORK:</p> <ol style="list-style-type: none"> 1. Remove existing sealant joints & backing material 2. Clean aluminum window frames 3. Install new metal composite spandrel panels 4. Replace damaged insulated glass units 5. Install new perimeter sealant joints 6. Install new gasketing at insulated glass unit and metal composite spandrel panels 	<p>MAINTENANCE OF MASONRY (REF. SPEC SECTION 04 01 00)</p> <p>KEYNOTES:</p> <p>M1 CLEAN AREA OF EFFLORESCENCE BUILD UP</p> <p>M2 CLEAN AREA OF HEAVY BIOLOGICAL, ATMOSPHERIC AND/OR RUST STAINING. MASONRY CONTROL JOINT. CUT OUT EXISTING SEALANT JOINT AND BACKING MATERIAL. CLEAN AND PREPARE JOINT WALL SURFACES AS REQUIRED FOR INSTALLATION OF NEW</p> <p>M4 SEALANT AND BACKING MATERIAL. CUT OUT EXISTING MORTAR JOINT AND REPOINT. (SPALLING OF CONCRETE PARGE)</p> <p>M5 REPAIR CRACK IN CONCRETE</p>	<p>ALUMINUM FRAMED STOREFRONT (REF. SPEC SECTION 08 43 13)</p> <p>W1 REMOVE EXISTING INSULATED METAL PANEL AND INSTALL NEW INSULATED METAL PANEL.</p> <p>PAINT (REF. SPEC SECTION 09 90 00)</p> <p>P1 EXISTING SHEET METAL - STRIP EXISTING PAINT/FINISH. APPLY PRIMER & PAINT SURFACE.</p> <p>P2 REMOVE OXIDATION AND RECOAT EXPOSED STEEL LINTEL.</p> <p>P3 PREPARE AND REPAINT METAL SOFFIT</p> <p>P4 ALUMINUM RESTORATION; SEE SPEC SECTION 05 90 00</p>				
				SEALANT (REF. SPEC SECTION 07 90 05)			
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				ELECTRICAL			
				E1 REPLACE EXISTING LIGHT FIXTURE.			
				BASIS OF DESIGN:			
				DESC: 26" X 12" WALL MOUNTED SCENCE, 120V			
MFR: BETA-CALCO							
MODEL NO: 31 2224							
LAMP TYPE: 32W LED 3000K 2720lm							
COLOR: BL BLACK							



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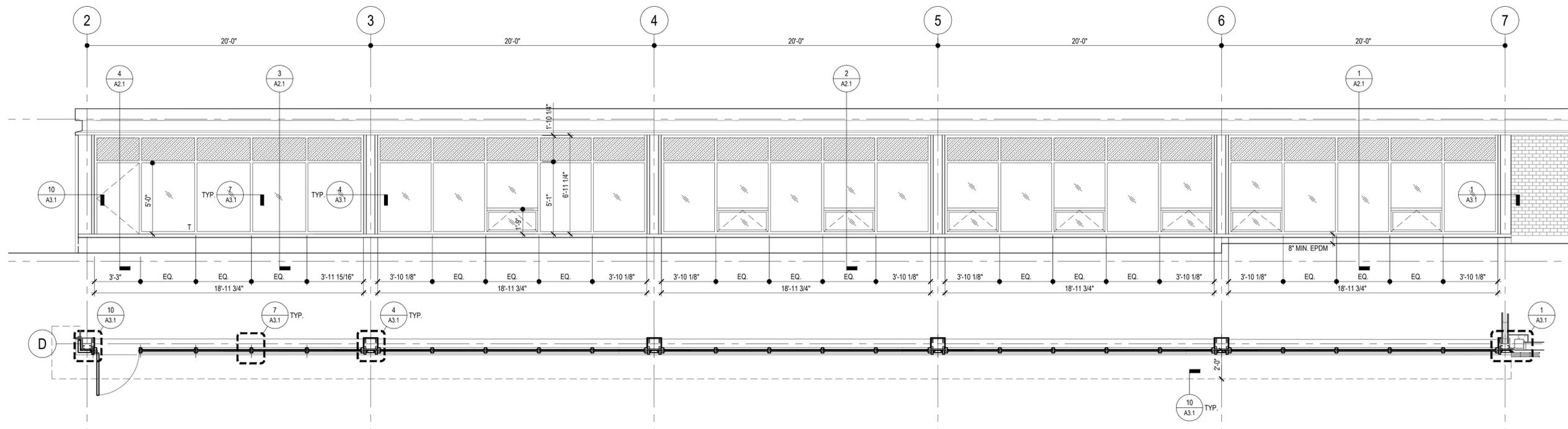


4 MEZZANINE STOREFRONT AT MECHANICAL ROOM DOOR 1 1/2"=1'-0"
WALL SECTION

3 MEZZANINE STOREFRONT AT MECHANICAL ROOM - LINE D 1 1/2"=1'-0"
WALL SECTION

2 MEZZANINE STOREFRONT AT OFFICES ALONG LINE D 3/4"=1'-0"
WALL SECTION

1 MEZZANINE STOREFRONT AT LINE D (BETWEEN LINES 6&7) 3/4"=1'-0"
WALL SECTION



5 MEZZANINE LEVEL STOREFRONT AT LINE D 1/4"=1'-0"
DETAIL ELEVATION - SOUTH

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WALL SECTIONS

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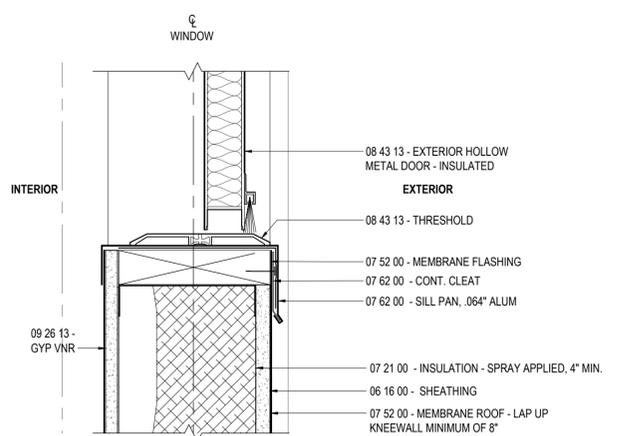
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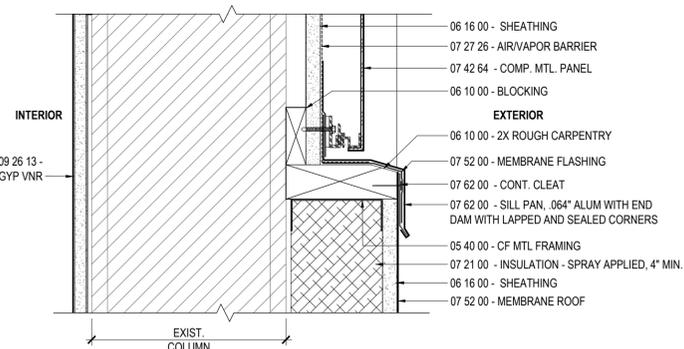
EXTERIOR DETAILS

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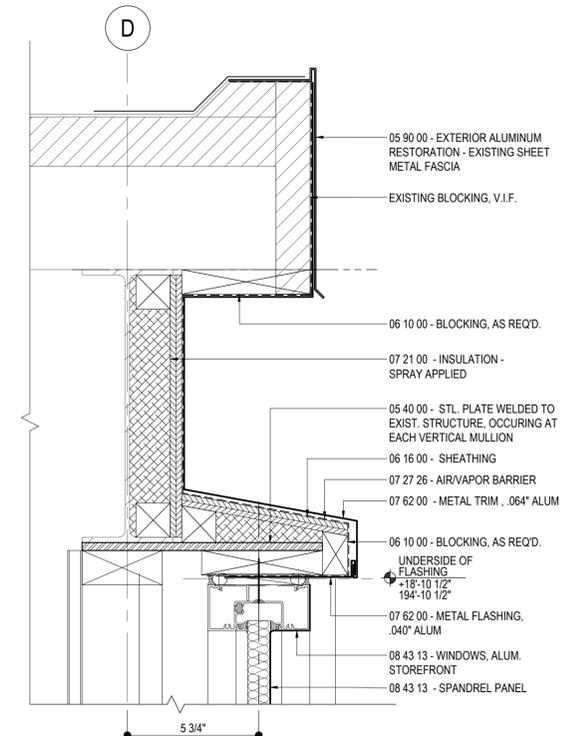
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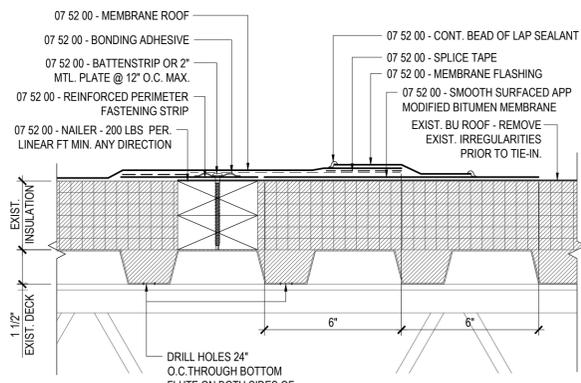
9 DOOR SILL @ KNEE WALL 3\"=1'-0\" SECTION DETAIL



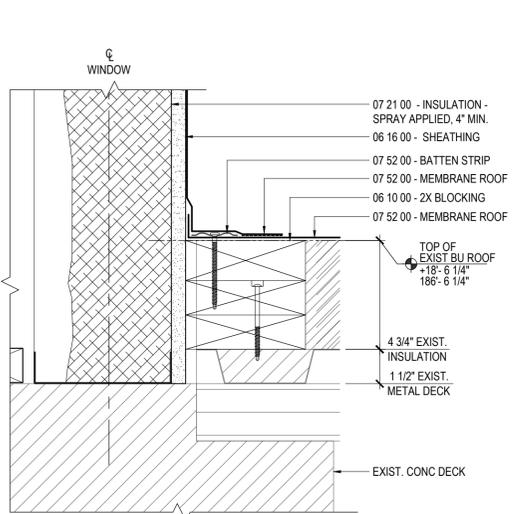
6 METAL PANEL COLUMN COVER AT SILL 3\"=1'-0\" SECTION DETAIL



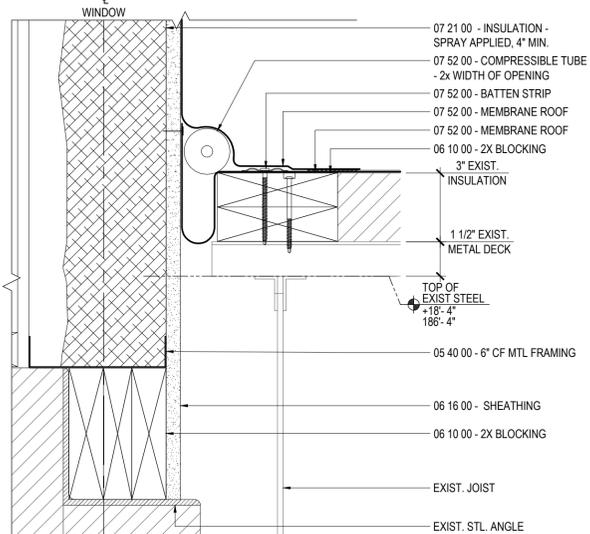
3 STOREFRONT HEAD AT MEZZANINE LEVEL OFFICE 3\"=1'-0\" SECTION DETAIL



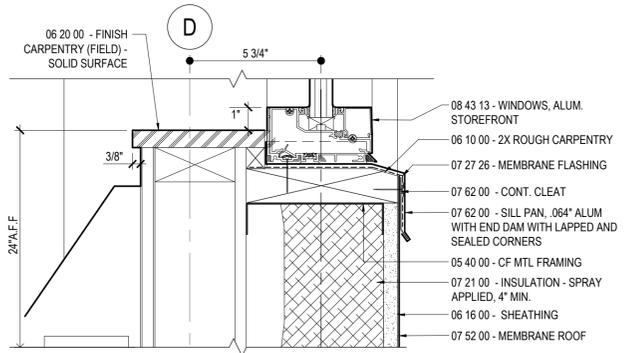
10 EPDM TO EXIST BU ROOF TRANSITION 3\"=1'-0\" SECTION DETAIL



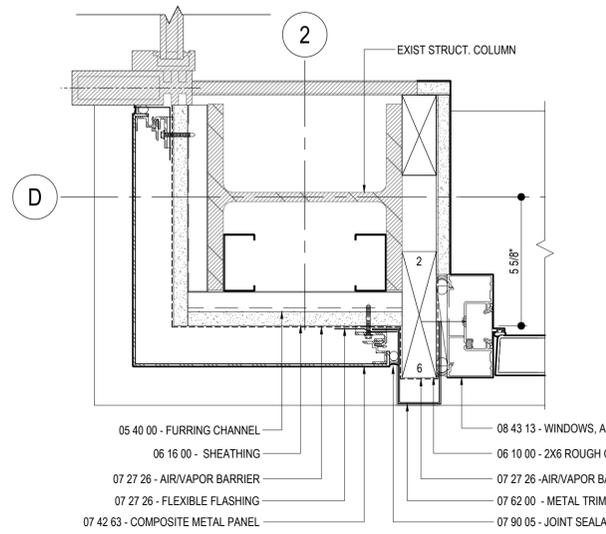
8 BASE TIE-IN AT KNEEWALL 3\"=1'-0\" SECTION DETAIL



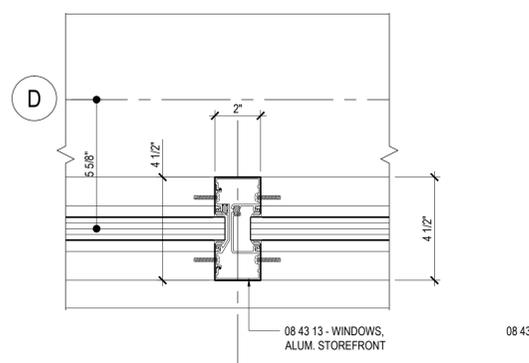
5 ROOF EXPANSION JOINT AND KNEEWALL 3\"=1'-0\" SECTION DETAIL



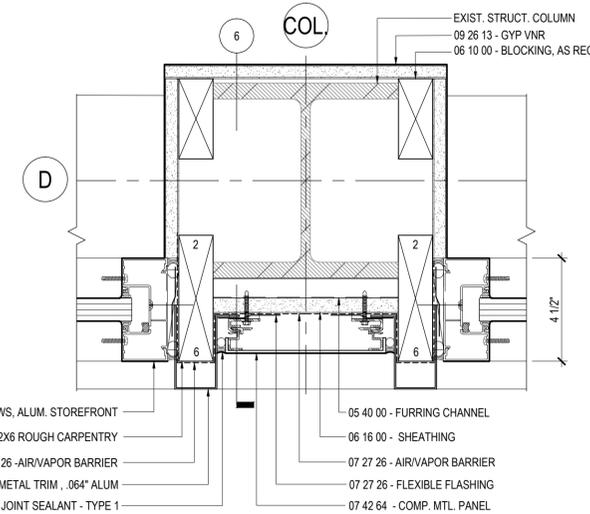
2 STOREFRONT SILL AT MEZZANINE LEVEL OFFICE 3\"=1'-0\" SECTION DETAIL



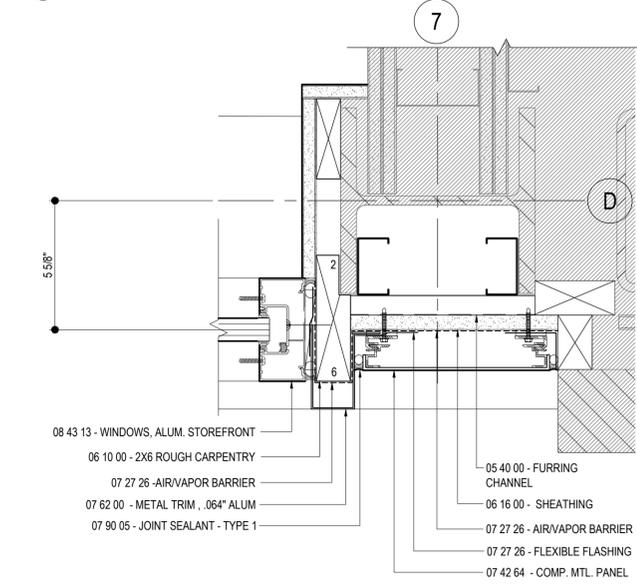
9 STOREFRONT AT CORNER COLUMN 3\"=1'-0\" PLAN DETAIL



7 NEW STOREFRONT VERTICAL MULLION 3\"=1'-0\" PLAN DETAIL



4 STOREFRONT AT COLUMN ENCLOSURE 3\"=1'-0\" PLAN DETAIL



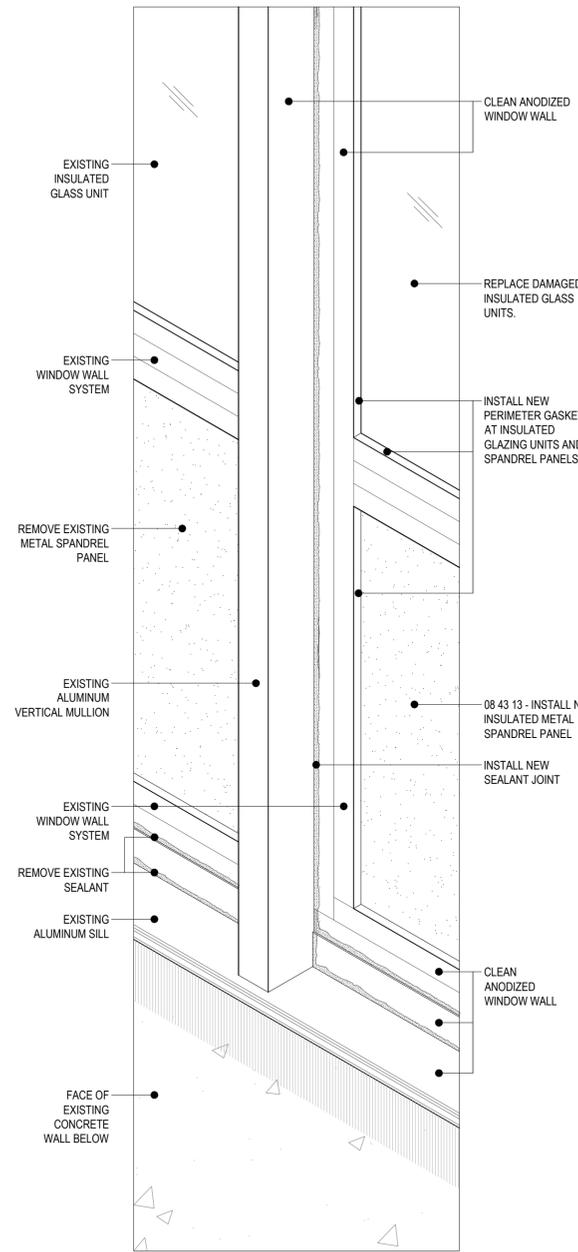
1 STOREFRONT AT D&7 3\"=1'-0\" PLAN DETAIL



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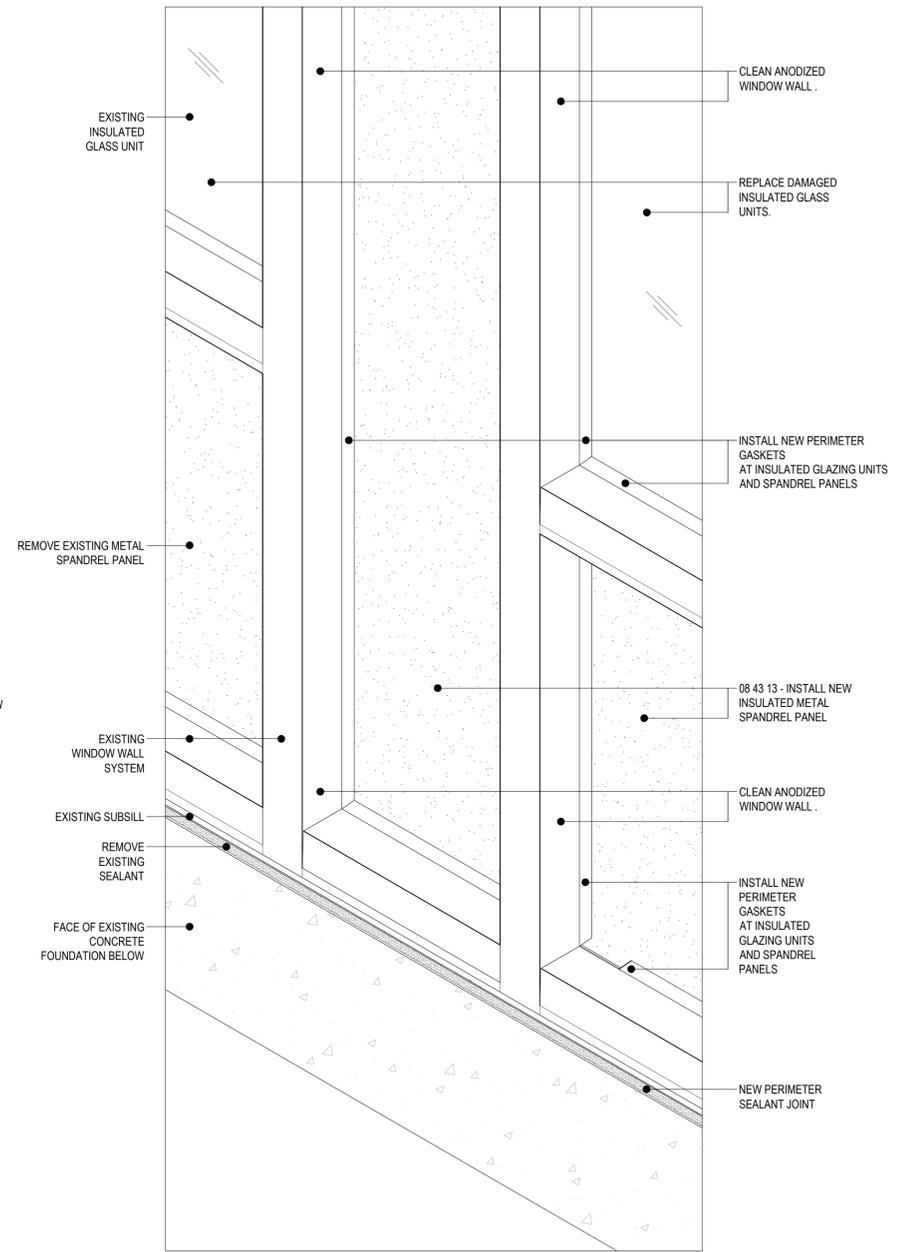
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1 WINDOW SYSTEM 1 - 1960'S ERA
ISOMETRIC DIAGRAM NTS

- SEQUENCE OF RESTORATION WORK:
1. Remove existing sealant joints & backing material
 2. Clean aluminum window frames
 3. Install new metal composite spandrel panels
 4. Replace damaged insulated glass units
 5. Install new perimeter sealant joints
 6. Install new seal at insulated glass unit and metal composite spandrel panels



2 WINDOW SYSTEM 2 - 1990'S ERA
ISOMETRIC DIAGRAM NTS

- SEQUENCE OF RESTORATION WORK:
1. Remove existing sealant joints & backing material
 2. Clean aluminum window frames
 3. Install new metal composite spandrel panels
 4. Replace damaged insulated glass units
 5. Install new perimeter sealant joints
 6. Install new gasketing at insulated glass unit and metal composite spandrel panels

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