

City of Pawtucket, RI

***** **Addendum #1** *****

RFP # 15-011C

Veteran's Memorial Park Restroom Renovation

May 11, 2015

The attention of bidders submitting proposals for the above-referenced project is called to the following Addendum to the plans (drawings) and specifications. The items set forth herein, whether of omission, addition, substitution or other change, are all to be included in, and form a part of the proposed Contract Documents for the work.

Inclusion of this Addendum must be acknowledged in the spaces provided in the document entitled "Request for Proposals RFP #15-011C – Veteran's Memorial Park Restroom Renovation." Failure to acknowledge any and all addenda in the above specified bid form may be cause for rejection of the bids by the Owner on the grounds that it is not responsive.

This Addendum consists of two (2) pages and six (6) attachments (11 pages total).

ADDENDUM ITEMS

1: SIGN-IN SHEET

ITEM 1-1: Sign-In Sheet from Pre-Bid Conference held on April 28, 2015 is attached hereto.

2. CHANGES TO RFP LANGUAGE

ITEM 2-1: Bid Form (Section 11.0 of RFP)

DELETE: Pricing Proposal in its entirety

INSERT: Attached Pricing Proposal
Former Item 2.00, Allowance for sanitary sewer cleanout, has been removed. Item 1.03, Contract Time, has been revised to specify August 5, 2015 as the substantial completion date for the project.

ITEM 2-2: Scope of Work (Section 4.0 of RFP)

DELETE: The following text from Section 4.2.1:
“August 7, 2015 - Substantial completion of construction and Owner’s construction closeout inspection.”

INSERT: The following text, in place of the deleted text:
“August 5, 2015 – Substantial completion of construction and Owner’s construction closeout inspection.”

3: CHANGES TO DRAWINGS (APPENDIX D OF RFP)

ITEM 3-1: Drawings A2, C2, C3, and C4

DELETE: Sheets in their entirety

INSERT: Revised Drawings A2, C2, C3, and C4.
Drawings have been revised to reflect the following changes:

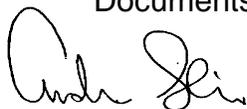
- *Eliminated proposed doghouse manhole structure*
- *Added proposed in-line 6” PVC cleanout structure in landscaped area adjacent to building*

4. QUESTIONS & ANSWERS

Questions received at the Pre-Bid Conference:

Q1: Which area(s) will the Contractor be permitted to utilize for temporary staging and stockpiling? Will the landscaped area on Nathanael Greene School property, adjacent to Legion Drive be available for this use?

A1: Contractors may establish a temporary staging/stockpiling area either on site (park property), or in the grassed area on Nathanael Greene School property, adjacent to Legion Drive, as shown in attached sketch SKA-1. Contractor shall enclose this area during construction, utilizing temporary fencing as necessary, and shall restore any impacts created thereby as directed in the Contract Documents.



Andrew Silvia, PE

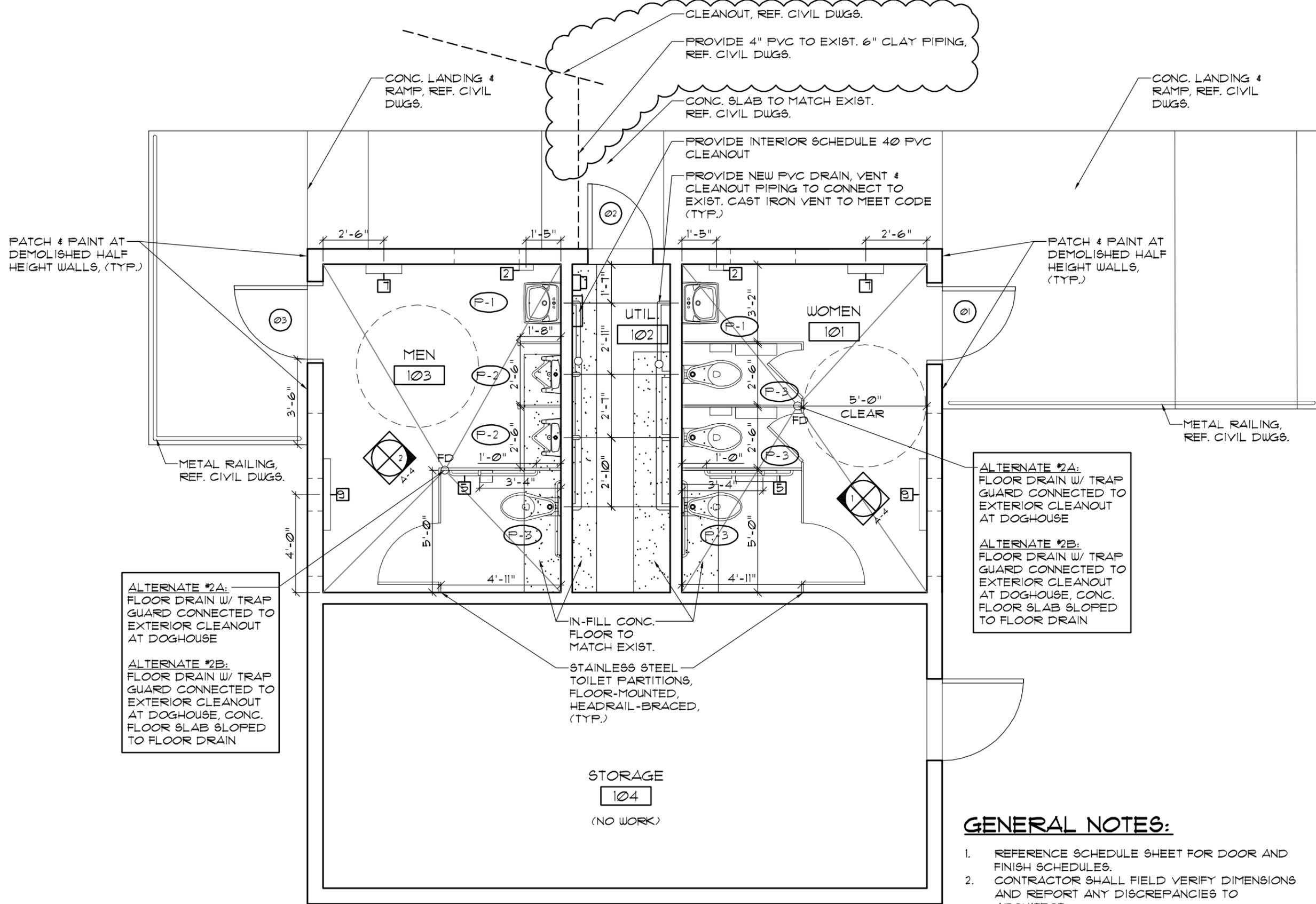
Chief of Project Development

Sign-In Sheets
Veteran's Memorial Park Restroom Renovation
15-011C

Company Name	Rep. Name	Fax #	E-mail address	How did you hear about this RFP?			
				News Paper	City Website	State Website	Word of Mouth
Stillwater Construction	Dan Kenney	401-568-7374	dkenney@stillwaterconstruction.com		✓		
URBAVE CONSTRUCTION	JAY MOON	401-944-1650	moony@urbaveconstruction.com			✓	
FREEDOM GENERAL CONT, INC.	Ken Bossic	401-722-4780	freepost@cox.net		-		
TRANSGLOBAL CONS	Judy Thompson	725 9020 ⁹⁰²⁰	adptglobal@aol.com			✓	
DOME CONSTRUCTION	DANA RIVELLO	401-723-2877	danadome@juno.com			✓	
MIT CONSTRUCTION CO INC	RUSSELL VIGLIANTE	401-272-9791	R.VIGLIANTE@MITCONSTRUCTIONCO.COM			✓	
AHLBERG CONGT CORP	JIM PLANTF	681-4950	JPLANTF@AHLBERG.COM				✓
W.H. Peppes G.C., Inc	Bill Peppes	724-9907	bill@whpeppes.com		-		

Please leave your business card. Thank You!

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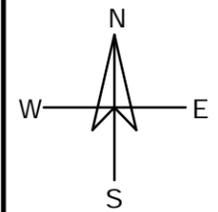


FLOOR PLAN

1 1/4" = 1'-0"

GENERAL NOTES:

1. REFERENCE SCHEDULE SHEET FOR DOOR AND FINISH SCHEDULES.
2. CONTRACTOR SHALL FIELD VERIFY DIMENSIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT.
3. FLASH PATCH FLOOR AS NEEDED TO INSTALL FLOOR FINISHES.



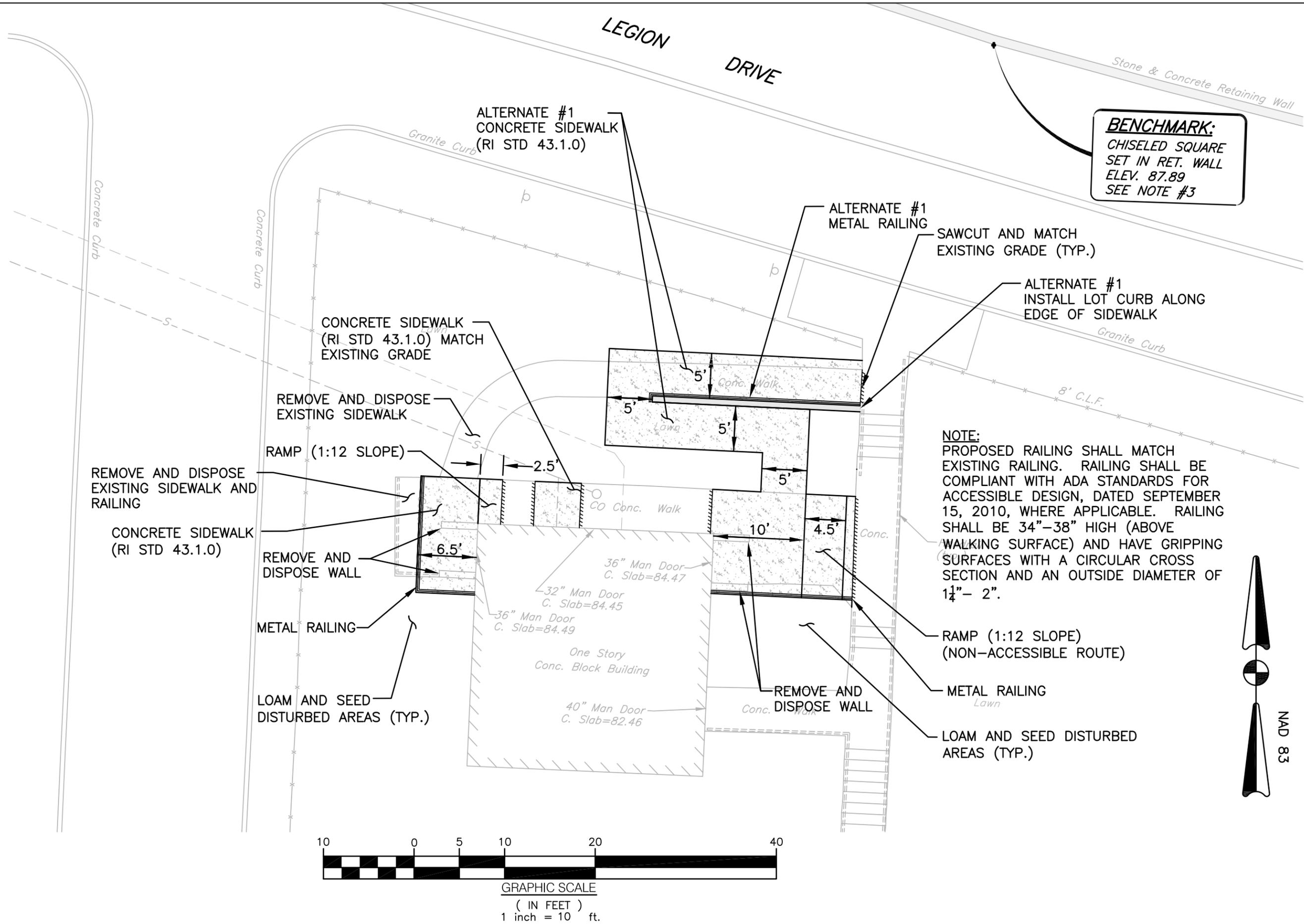
Renovations to:
**Veterans Memorial
 Park Restrooms**
 Legion Drive
 Pawtucket, RI 02904

SHEET CONTENTS
 Floor Plan

PROJECT # 1115
 DATE: 04/20/2015
 REVISED DATE: 05/08/2015

ISSUED FOR BIDDING - APRIL 20, 2015

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BENCHMARK:
 CHISELED SQUARE
 SET IN RET. WALL
 ELEV. 87.89
 SEE NOTE #3

NOTE:
 PROPOSED RAILING SHALL MATCH
 EXISTING RAILING. RAILING SHALL BE
 COMPLIANT WITH ADA STANDARDS FOR
 ACCESSIBLE DESIGN, DATED SEPTEMBER
 15, 2010, WHERE APPLICABLE. RAILING
 SHALL BE 34"–38" HIGH (ABOVE
 WALKING SURFACE) AND HAVE GRIPPING
 SURFACES WITH A CIRCULAR CROSS
 SECTION AND AN OUTSIDE DIAMETER OF
 1½"– 2".



GRAPHIC SCALE
 (IN FEET)
 1 inch = 10 ft.

Ed Wojcik
 architect, ltd
 One Richmond Square
 Providence, RI 02906
 401- 861 7139
 Fax: 401 861 7165

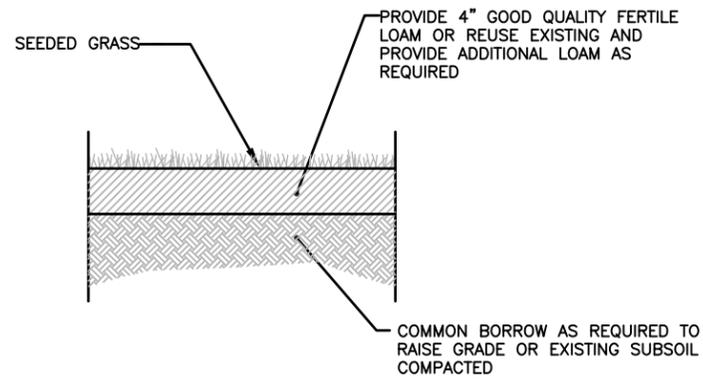
Renovations to:
 Veterans Memorial
 Park Restrooms
 Legion Drive
 Pawtucket, RI 02904

SHEET CONTENTS:
 SITE PLAN

PROJECT # 1115
 DATE: 04/20/2015
 REVISED DATE:
 05/07/2015

C2

ISSUED FOR BIDDING – APRIL 20 , 2015



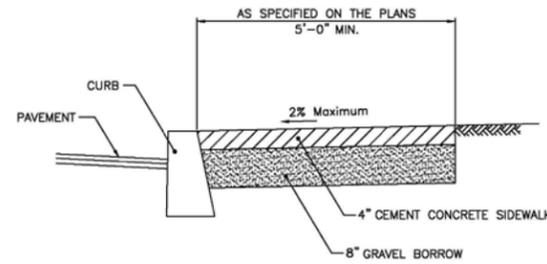
NOTE:
 THE CONTRACTOR WILL BE RESPONSIBLE FOR WATERING LAWN DURING THE COURSE OF THE GROWING SEASON FOR A PERIOD OF ONE (1) YEAR.

SEED MIX

TYPE	% BY WEIGHT
NASSAU KENT BLUE	60
JAMESTOWN CHEWINGS FESCUE	20
PALMER PERENNIAL RYE GRASS	20

APPLICATION RATE = 200 lbs. / ACRE

LOAM-SEED DETAIL
 NOT TO SCALE



NOTES
 1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. FOR CURB SETTING DETAIL REFERENCE STD. 7.6.0.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION

CEMENT CONCRETE SIDEWALK

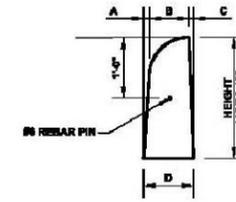
NO.	BY	DATE
1	MLP	3/17/05
2	MLP	06/01/10

James L. Gault CIVIL ENGINEER
Steven D. Roberts CIVIL ENGINEER
 JUNE 15, 1998
 R.I. STANDARD 43.1.0

DURASTONE

140 HIGGEBRON AVENUE - LINCOLN, RI 02881 - Phone (401) 723-7800 - Fax (401) 723-8988

PRECAST LOT CURB



STANDARD DIMENSIONS

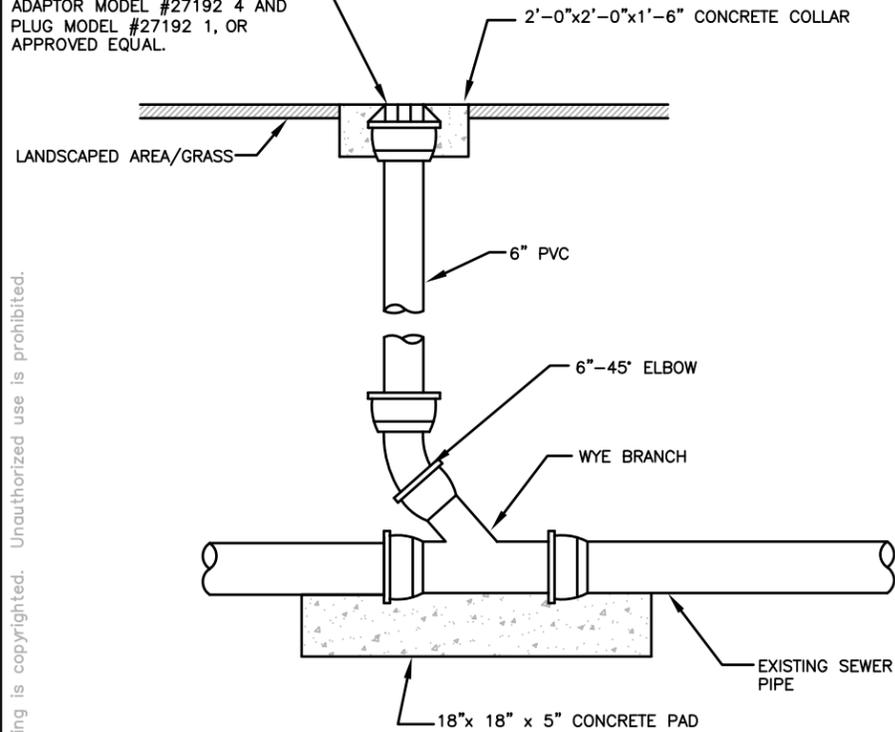
HEIGHT	A	B	C	D
18"	1"	8"	1"	10"
24"	1"	8"	1"	10"
30"	1"	8"	3"	12"
36"	1"	8"	5"	14"
42"	1"	8"	9"	18"

STANDARD SPECIFICATIONS

1. EXPOSED SURFACES TO HAVE SMOOTH FORM FINISH.
2. MANUFACTURED IN STRAIGHT LENGTHS ONLY.
3. 4,000 PSI CLASS XX (AE) PORTLAND CEMENT CONCRETE.
4. CONFORMS TO RI STANDARD 7.2.3.

NPCA
 CERTIFIED PLANT

ADAPTOR WITH SCREW ON PLUG LETTERED "CLEANOUT", EJ PRESCOTT ADAPTOR MODEL #27192 4 AND PLUG MODEL #27192 1, OR APPROVED EQUAL.



CLEAN OUT DETAIL
 NOT TO SCALE

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Ed Wojcik
 architect, ltd
 One Richmond Square
 Providence, RI 02906
 401- 861 7139
 Fax: 401 861 7165

Renovations to:
 Veterans Memorial
 Park Restrooms
 Legion Drive
 Pawtucket, RI 02904

ISSUED FOR BIDDING - APRIL 20, 2015

SHEET CONTENTS:
 MISCELLANEOUS
 DETAILS

PROJECT # 1115

DATE: 04/20/2015
 REVISED DATE:
 05/07/2015

C4



SITE PLAN

1 NTS

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Ed Wojcik
architect, ltd
 One Richmond Square
 Providence, RI 02906
 401-861-7139
 E. W. 401 • 02906 • 7139

Renovations to:
**Veterans Memorial
 Park Restrooms**
 Legion Drive
 Pawtucket RI 02904

Project # 1115
 Date: 05/04/2015
 Revised:

SKA-1

Pricing Proposal

15-011

1.01 OFFER

A. Having examined the Place of The Work and all matters referred to in the Contract Documents prepared by Ed Wojcik Architect, Ltd. for the above mentioned project, we, the undersigned, hereby offer to enter into a Contract to perform the Work for the Sum of:

B. _____ dollars

(amount in words)

(\$ _____), in lawful money of the United States of America.

(amount in figures)

1.02 ACCEPTANCE

A. This offer shall be open to acceptance and is irrevocable for thirty days from the bid closing date.

B. If this bid is accepted by Owner within the time period stated above, we will:

1. Execute the Agreement within seven days of receipt of Notice of Award. Please note that the anticipated Award date is May 28, 2015.
2. Furnish the required bonds within seven days of receipt of Notice of Award.
3. Commence work within seven days after written Notice to Proceed (i.e. the Owner's fully executed Agreement) of this bid.

C. If this bid is accepted within the time stated, and we fail to commence the Work or we fail to provide the required Bond(s), the security deposit shall be forfeited as damages to Owner by reason of our failure, limited in amount to the lesser of the face value of the security deposit or the difference between this bid and the bid upon which a Contract is signed.

D. In the event our bid is not accepted within the time stated above, the required security deposit shall be returned to the undersigned, in accordance with the provisions of the Instructions to Bidders; unless a mutually satisfactory arrangement is made for its retention and validity for an extended period of time.

E. Alternates quoted on Bid Forms will be reviewed and accepted or rejected at Owner's option. Accepted Alternates will be identified in the Owner-Contractor Agreement.

F. Coordinate related work and modify surrounding work to integrate the Work of each Alternate.

1.03 CONTRACT TIME

A. If this Bid is accepted, we will achieve substantial completion of the Work by August 5, 2015.

1.04 CHANGES TO THE WORK

A. When Architect establishes that the method of valuation for Changes in the Work will be net cost plus a percentage fee in accordance with General Conditions, our percentage fee will be:

1. _____ percent overhead and profit on the net cost of our own Work;
2. _____ percent on the cost of work done by any Subcontractor.

B. On work deleted from the Contract, our credit to Owner shall be Architect-approved net cost plus _____ of the overhead and profit percentage noted above.

1.05 BID FORM SUPPLEMENTS

- A. The following Supplements are attached to this Bid Form and are considered an integral part of this Bid Form:
 - 1. Document 00 4323 - Alternates Form: Include the cost variations to the Bid Sum applicable to the Work as described in Section 01 2300.

2.00 BID ALTERNATES:

Alternates as quoted are for provision of unit price adjustments to the Base Bid prior to Contract Award. The Bidder shall indicate in the appropriate field whether the Alternate results in an ADD or DEDUCT to the Base Bid unit price. The Alternate ADD or DEDUCT indicated will adjust the Base Bid unit price by the stated amount, not replace the Base Bid unit price, provided that the Alternate is selected by the Owner.

Alternates will be executed at the Owner's option. One or more alternates may be chosen. Accepted Alternates will be listed in the Owner/Contractor Agreement.

2.01 SCHEDULE OF ALTERNATES

A. Alternate No. 1 - Concrete Sidewalk and Railing:

- 1. Base Bid Item: Existing concrete walkway to remain Drawing number C-1.
- 2. Alternate Item: Concrete sidewalk including railings, Drawing number C-2 & C-3.

ADD/DEDUCT	TOTAL COST ADJUSTMENT	TOTAL COST ADJUSTMENT
-----	-----	-----
(indicate add or deduct)	(in figures)	(in words)

B. Alternate No. 2A - Floor Drain:

- 1. Base Bid Item: Existing concrete floor slab to remain Drawing number A-1.
- 2. Alternate Item: Floor drain with trap guard connected to exterior cleanout Drawing number A-2.

ADD/DEDUCT	TOTAL COST ADJUSTMENT	TOTAL COST ADJUSTMENT
-----	-----	-----
(indicate add or deduct)	(in figures)	(in words)

C. Alternate No. 2B - Sloped Concrete Slab:

- 1. Base Bid Item: Existing concrete floor slab to remain, Drawing number A-1.
- 2. Alternate Item: Floor drain with trap guard connected to exterior cleanout and new concrete floor slab sloped to floor drain, Drawing number A-2.

ADD/DEDUCT	TOTAL COST ADJUSTMENT	TOTAL COST ADJUSTMENT
-----	-----	-----
(indicate add or deduct)	(in figures)	(in words)

D. Alternate No. 3 - Paper Towel Dispenser

- 1. Base Bid Item: Electric hand dryer including wiring, Drawing number A-4.
- 2. Alternate Item: Mechanical Paper Towel Dispenser, Drawing number A-4.

ADD/DEDUCT	TOTAL COST ADJUSTMENT	TOTAL COST ADJUSTMENT
-----	-----	-----
(indicate add or deduct)	(in figures)	(in words)

3.00 BID FORM SIGNATURE(S)

- A. The Corporate Seal of
- B. _____
- C. (Bidder - print the full name of your firm)
- D. was hereunto affixed in the presence of:
- E. _____
- F. (Authorized signing officer, Title)
- G. (Seal)
- H. _____
- I. (Authorized signing officer, Title)

3.01 IF THE BID IS A JOINT VENTURE OR PARTNERSHIP, ADD ADDITIONAL FORMS OF EXECUTION FOR EACH MEMBER OF THE JOINT VENTURE IN THE APPROPRIATE FORM OR FORMS AS ABOVE.