

City of Pawtucket, RI

***** Addendum #1 *****

RFP # 14-057D
Synthetic Turf Field Design

November 9, 2015

The attention of bidders submitting proposals for the above-referenced project is called to the following Addendum to the document entitled "Request for Proposals RFP #14-057D Synthetic Turf Field Design". The items set forth herein, whether of omission, addition, substitution or other change, are all to be included in, and form a part of the proposed Contract Documents for the work.

Inclusion of this Addendum must be acknowledged in the spaces provided in the proposal form included within the aforementioned RFP document. Failure to acknowledge any and all addenda in the above specified proposal form may be cause for rejection of the proposal by the Owner on the grounds that it is not responsive.

This Addendum consists of three (3) pages and two (2) attachments (5 pages total).

ADDENDUM ITEMS

1. QUESTIONS AND ANSWERS

Questions Received at the Pre-Proposal Conference

Q1: Please provide a copy of the Class I boundary and topographic survey

A1: *A draft survey plan showing existing conditions is included herein as Attachment 1. The final plan will be available as of the award of this contract.*

Q2: Please confirm whether the amenities building area noted in the Master Plan (2,750 square feet) represents a footprint area, or gross floor area.

A2: *The amenities building shown on the Master Plan layout occupies a footprint of 2,750 square feet. Per the Master Plan, this building is envisioned as a split level design that will accommodate uses including restrooms, equipment storage, a concessions area, and one or more locker rooms. Respondents shall develop proposals based upon this proposed design.*

Q3: Please confirm whether the amenities building is intended to include a concessions space with full cooking service or more basic (e.g. ready-made & dry goods) concessions capacity.

A3: *The Consultant needn't provide detailed design of cooking service fixtures and associated building elements as part of the building design. Pending availability of funding, these detailed design efforts may be commissioned at a later date. The Consultant shall note, however, that the amenities building design must allow sufficient space and other accommodations (e.g. properly sized utility connections) to allow for future implementation of cooking service.*

Q4: What is the approximate earthwork "cut" volume associated with the Master Plan's preferred design alternative.

A4: *The approximate cut volume is 1,700 cubic yards.*

Questions Received via E-Mail

Q5: Does the City anticipate permitting through the Narragansett Bay Commission?

A5: *A sewer connection permit will be required from the Narragansett Bay Commission (NBC) if the amenities building is constructed, as this facility will feature new restrooms. The Consultant shall prepare a commercial/industrial sewer connection permit application for the Contractor's use.*

Q6: Is on-grade access to each story of the concession building required (will define location and height of retaining walls and building)?

A6: Yes.

Q7: Has National Grid completed its environmental study(ies) and if not is there a scheduled completion date?

A7: *National Grid has not yet received a formal response to its (Tidewater) Site Investigation Report from the RIDEM. Nonetheless, additional site/soils investigation on the Tidewater property is not anticipated.*

Q8: Does the City have a schedule of the final property exchange/lease arrangement with National Grid?

A8: *A firm schedule has not been defined for this process. Generally, the City intends to return a signed copy of the draft license agreement "Term Sheet", amended as necessary, to National Grid for review on or about January 1. The City expects that any further coordination with National Grid will be completed prior to the estimated construction start date of June 1, 2016.*

Q9: The RFP under task 2 lists collecting soil samples and a number of analytical tests to be performed. However, the number of tests or soil samples is not provided. We understand that the design of the field and investigation will determine the number but is there a number we should assume to ensure equal bidding?

A9: *The City prefers not to establish a specific number of required soil borings/tests. The Consultant is expected to conduct an appropriate number of borings and tests to satisfy the objective of Task 2, as noted in Section 4.0 of the RFP.*

2. MODIFICATIONS TO RFP #14-057D DOCUMENT

ITEM 2-1: Section 9.0, Evaluation Criteria

DELETE Item 2 (in its entirety, as noted in the list of proposal evaluation phases)

INSERT 2. The second phase is an in-depth analysis and review based on criteria below and their associated weights.

<u>Evaluation Criteria</u>	<u>Importance</u>
Experience/Qualifications	
• Firm background and relative experience	10%
• Relative experience of proposed project team members (personnel)	35%
• Past performance with City of Pawtucket or similar municipalities	15%
• Overall quality and responsiveness of proposal	10%
References	5%
Price	25%

ITEM 2-2: Section 8.0, Proposal Content and Organization

DELETE n/a

INSERT Key professionals that would be assigned to the project and a description of their project role, area of expertise, and representative experience, including any sub-consultants to be used, must be noted in the proposal. References should correlate with experience/projects noted within this section.

ITEM 2-3: Section 8.0, Proposal Content and Organization

DELETE Two (2) copies of your proposal, one (1) original and one (1) copy, must be submitted at the time of submission.

INSERT Two (2) copies of your proposal, one (1) original hard copy and one (1) digital copy including all attachments (on CD, USB flash drive, or other format) must be submitted at the time of submission.

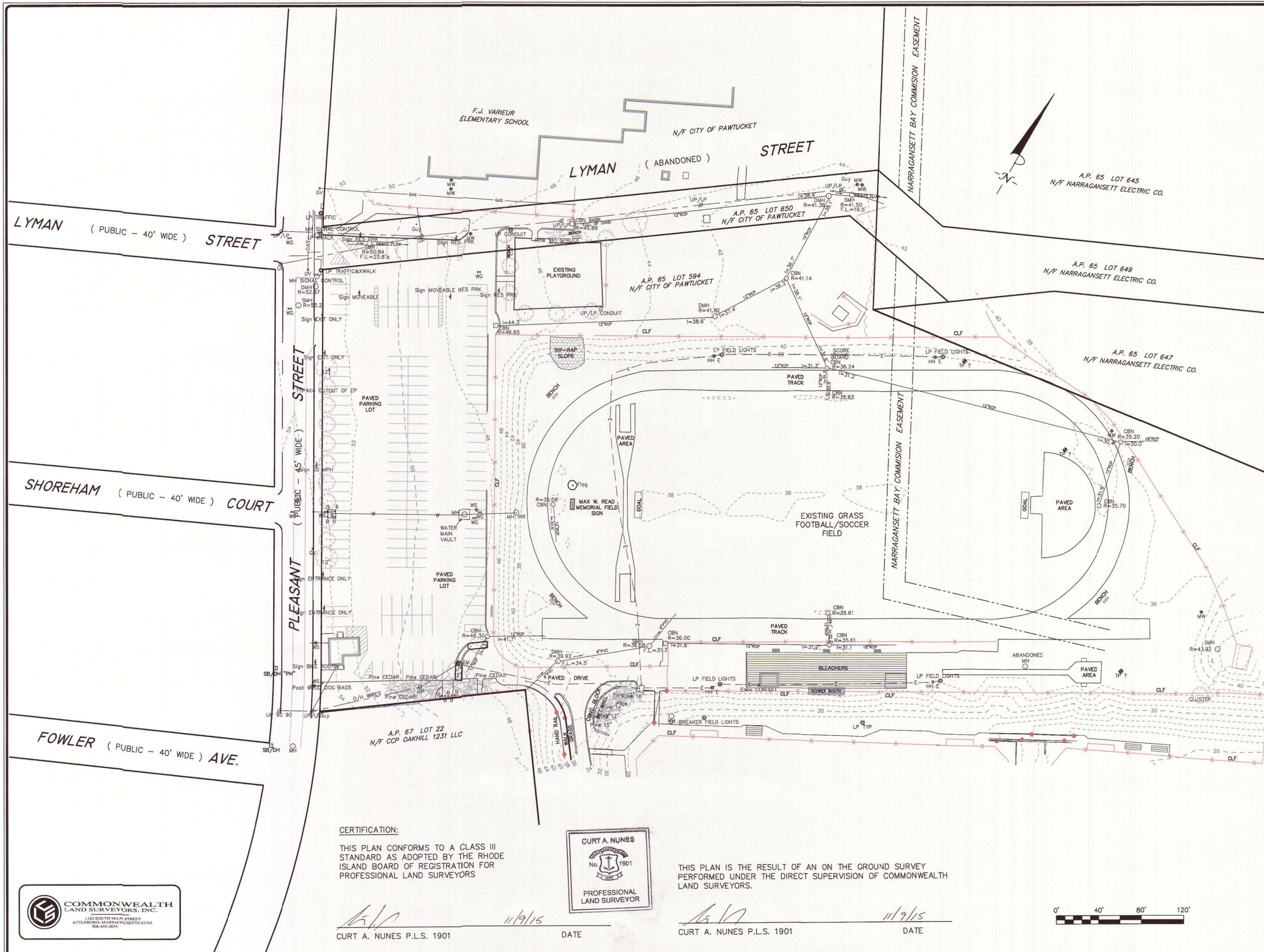
3. ATTACHMENTS

- **Attachment 1: Draft Survey Plan (Existing Conditions)**
- **Attachment 2: Pre-Proposal Conference Sign-In Sheet**



Andrew Silvia, PE, PMP

Chief of Project Development



GENERAL NOTES:
 1. Underground utilities shown on this plan are based upon visible above ground utilities and record information of below ground utilities and are approximate only. Contractor is responsible for taking all necessary precautions before beginning any excavation. (Digsafe 1-800-322-4844)

EXISTING CONDITIONS PLAN

**MAX W. READ FIELD
 IN
 PAWTUCKET, RI**

SCALE: 1" = 40'

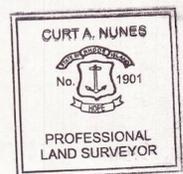
DATE: JULY 14, 2015

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REVISIONS	
DATE	REVISION
NOV. 9, 2015	CERTIFICATION ADDED

Drawn By: JWR
 Checked By: CAN
 Job No. 15-046
 SHEET 1 OF 1

CERTIFICATION:
 THIS PLAN CONFORMS TO A CLASS III STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS



THIS PLAN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED UNDER THE DIRECT SUPERVISION OF COMMONWEALTH LAND SURVEYORS.

[Signature]
 CURT A. NUNES P.L.S. 1901

11/9/15
 DATE

[Signature]
 CURT A. NUNES P.L.S. 1901

11/9/15
 DATE



