

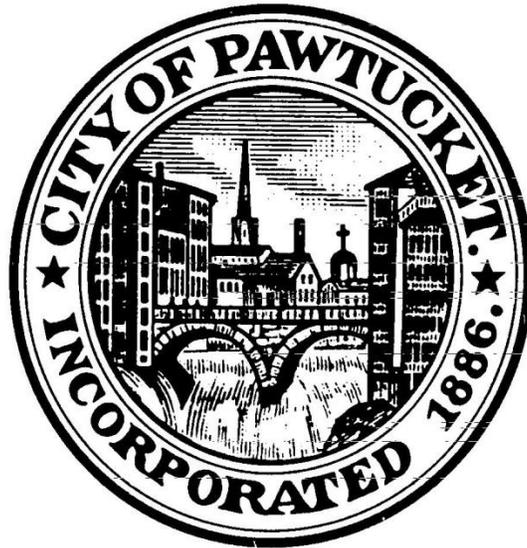
Addendum 1

LIST OF DRAWINGS

All listed Drawings Are Revised
November 21, 2013

ARCHITECTURAL

- AD-1.1..... Roof Demolition Plan and Notes
- A1.1..... Roof Plan, Details and Notes
- A1.2..... Sections and Details



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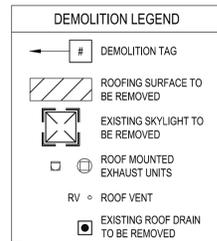
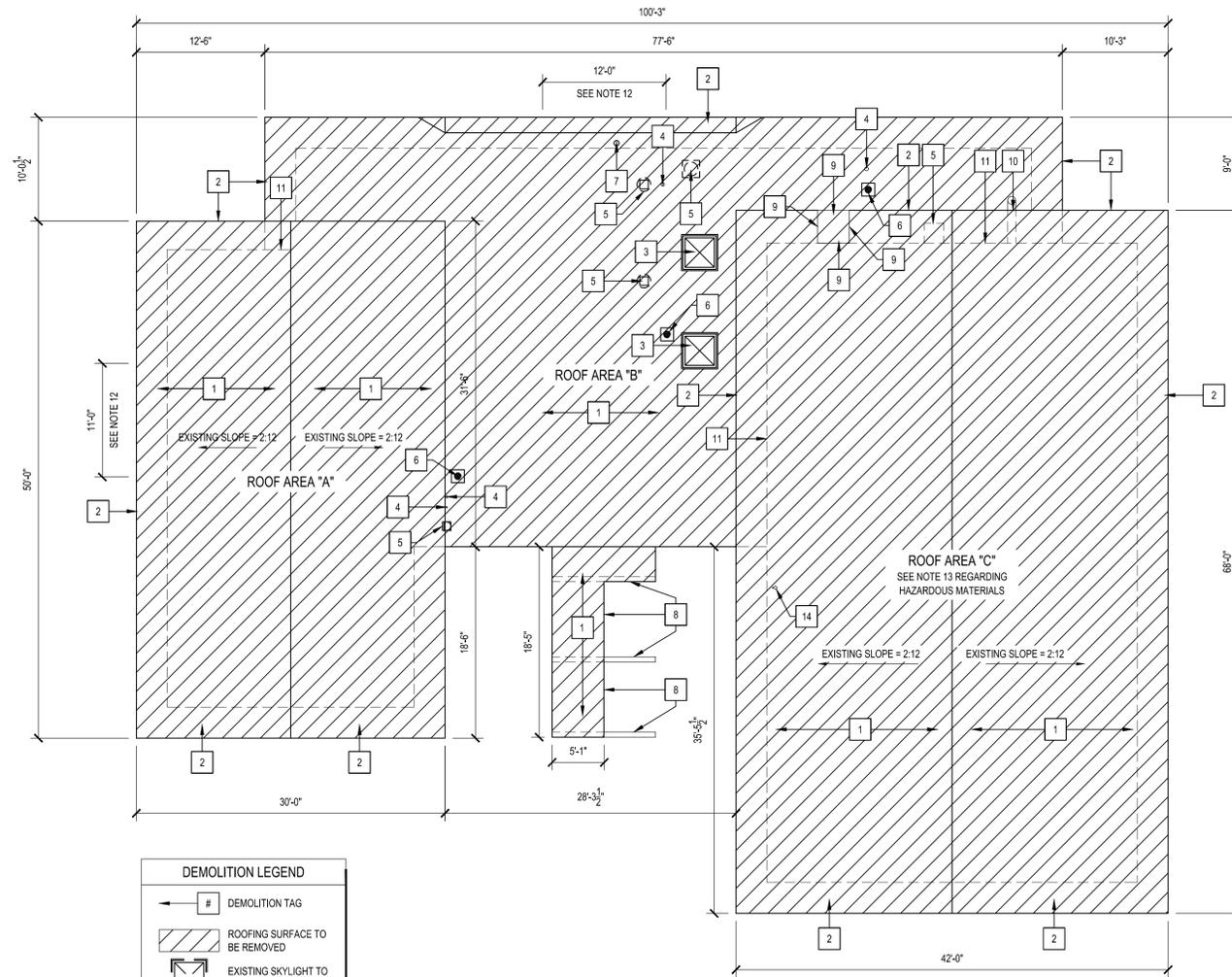
126 COVE STREET
FALL RIVER, MASSACHUSETTS 02720

Contact: David Andrade
Phone: 508-679-5733
Date: November 21, 2013

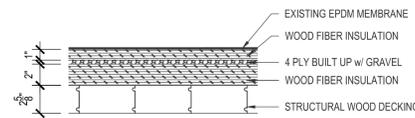


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1 DEMOLITION ROOF PLAN
AD1.1 1/8" = 1'-0"



2 TYPICAL EXISTING ROOF ASSEMBLY
AD1.1 1-1/2" = 1'-0"

DEMOLITION PLAN NOTES

- REMOVE AND DISPOSE OF EXISTING ROOFING SYSTEMS DOWN TO STRUCTURAL DECK INCLUDING BUT NOT LIMITED TO RUBBER MEMBRANE, TAR AND GRAVEL, ADHESIVES, INSULATION, FLASHING AND TERMINATION BARS. G.C. TO CLEAN AND PATCH EXISTING DECKING AS REQUIRED TO COMPLETE NEW WORK. SEE "TYPICAL EXISTING ROOF ASSEMBLY" ON THIS SHEET.
- REMOVE AND DISPOSE OF ALL EXISTING TERMINATION BARS AND BLOCKING ALONG PERIMETER OF THE RUBBER MEMBRANE AS REQUIRED FOR THE NEW TPO ROOFING SYSTEM.
- REMOVE AND DISPOSE OF EXISTING SKYLIGHT INCLUDING, BUT NOT LIMITED TO SKYLIGHT HARDWARE AND ACCESSORIES. G.C. TO CLEAN AND PREPARE EXISTING SURFACES AS REQUIRED FOR NEW WORK.
- EXISTING VENT TO REMAIN - REMOVE ALL FLASHING AND ADHESIVES AS REQUIRED FOR NEW ROOFING SYSTEMS
- EXISTING EXHAUSTVENT/AIR INTAKE AND CURBING TO BE REMOVED AND SALVAGED FOR RE-USE. G.C. TO COORDINATE W/ ELECTRICAL AND HVAC SUBCONTRACTOR REGARDING DISCONNECT OF UNITS PRIOR TO REMOVAL.
- REMOVE EXISTING ROOF DRAINS, BASKET, AND PORTION OF INTERIOR RISER (BACK TO INTERIOR CHASE WALL). CAP REMAINING PORTION OF RISER AND PROVIDE SIGNAGE INDICATING "ROOF LEADER - ABANDONED IN PLACE." REMOVE EXISTING ROOF DRAIN ACCESSORIES INCLUDING BUT NOT LIMITED TO FLASHING AND ADHESIVES - CLEAN AND PREPARE ROOF OPENING AS REQUIRED FOR THE NEW WORK.
- REMOVE AND SALVAGE EXISTING DOWNSPOUTS INCLUDING BUT NOT LIMITED TO FASTENERS, OFFSETS, MITERS, AND ELBOWS ALONG ROOFS PERIMETER. G.C. TO PROTECT EXISTING ROOF EDGE DURING DEMOLITION AND CONSTRUCTION.
- REMOVE AND DISPOSE OF EXISTING CANOPY IN ITS ENTIRETY INCLUDING, BUT NOT LIMITED TO EXISTING ROOFING SYSTEM, STRUCTURAL DECK, STRUCTURAL MEMBERS, TERMINATION BARS, FLASHING, INSULATION, COLUMNS AND BEAMS. G.C. TO SAWCUT STEEL PIPE BELOW COLUMN AT EXISTING SIDEWALK LEVEL AND INFILL PIPE VOIDS WITH NON SHRINK GROUT.
- EXISTING COPPER FLASHING AT CHIMNEY TO REMAIN. GC TO LIFT COPPER FLASHING AND REMOVE EXISTING RUBBER MEMBRANE AND TERMINATION BAR.
- EXISTING EXHAUST BRACKETS TO BE REMOVED AND RETAINED FOR REUSE. REMOVE AS REQUIRED FOR REMOVAL OF RUBBER ROOF MEMBRANE AND TERMINATION BAR.
- REMOVE AND DISPOSE OF ALL EXISTING TERMINATION BARS AND BLOCKING AT THE UNDERSIDE OF THE EXISTING EXTERIOR WOOD WALL SHEATHING. PREPARE THE AREA AS REQUIRED TO RECEIVE A NEW TERMINATION BAR.
- REMOVE A PORTION OF THE STRUCTURAL DECK INCLUDING BUT NOT LIMITED TO STRUCTURAL 2 1/2" WOOD PLANKING, (2) TWO LAYERS OF PLYWOOD AND COVER BOARD AS REQUIRED FOR OVERHANG REPAIRS.
- HAZARDOUS MATERIAL TESTING HAS BEEN PERFORMED AND ROOF AREA "C" TESTED POSITIVE FOR ASBESTOS IN PERIMETER FLASHINGS. G.C. TO REFER TO ABATEMENT PLAN AS PREPARED BY HAZARDOUS MATERIAL CONSULTANT FOR THE REMOVAL OF ASBESTOS CONTAINING MATERIAL.
- EXISTING VENT TO REMAIN - REMOVE ALL FLASHING AND ADHESIVES AS REQUIRED FOR NEW ROOFING SYSTEMS. REMOVE AND DISPOSE OF EXISTING ROOF MOUNTED ANTENNAE.

STATION 5 ROOF REPLACEMENT

CITY OF PAWTUCKET
301 SMITHFIELD AVENUE
PAWTUCKET/ RI 02860

REVISIONS:

(1) 11.21.13
REVISIONS TO DEMOLITION
NOTE 2

SCALE: 1/8" = 1'-0"
DATE: 11.05.13
DRAWN BY: NJV
JOB NUMBER: 130-13

DRAWING NAME:
ROOF DEMOLITION
PLAN AND NOTES

DRAWING NUMBER:

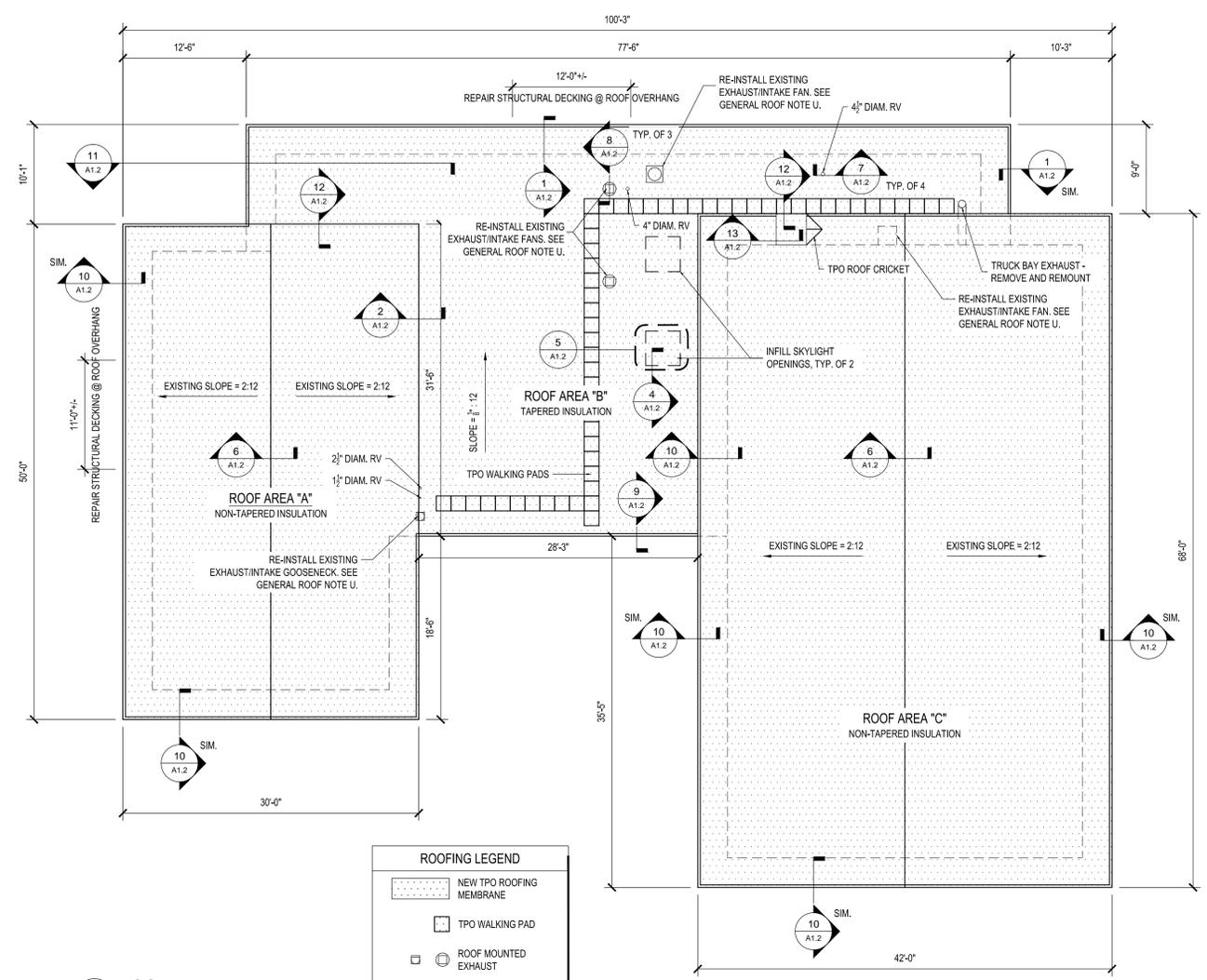
AD1.1

COMMENTS:

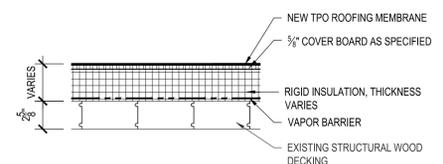
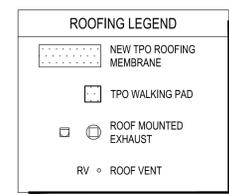
ISSUED FOR BID



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1 ROOF PLAN
 1/8" = 1'-0"



2 TYPICAL "NEW" ROOF ASSEMBLY
 1-1/2" = 1'-0"

GENERAL ROOF NOTES	
A.	THE GENERAL CONTRACTOR (G.C.) SHALL FIELD VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO THE WORK.
B.	PRIOR TO THE WORK THERE SHALL BE A PRE-ROOFING CONFERENCE AMONG OWNER, ROOFING SUBCONTRACTOR, SYSTEM MANUFACTURER'S REPRESENTATIVE, RELATED WORK SUBCONTRACTORS, & THE G.C. THE MEETING SHALL BE COORDINATED WITH ENOUGH LEAD TIME FOR ALL TO ATTEND.
C.	THE ROOFING SUBCONTRACTOR SHALL BE CERTIFIED BY THE ROOFING SYSTEM MANUFACTURER.
D.	ROOFING CONTRACTOR TO REFER TO BID FORM FOR SPECIFIC STRUCTURAL DECKING REPLACEMENT PRICING INSTRUCTIONS. CONTRACTOR TO PROVIDE FOR A MINIMUM OF 300 SF OF STRUCTURAL WOOD DECK REPLACEMENT. THE EXTENT OF STRUCTURAL DECK REPLACEMENT IS TO BE VERIFIED UPON REMOVAL OF THE EXISTING ROOFING SURFACES. NOTE THAT THIS STRUCTURAL WOOD DECK REPLACEMENT IS UNRELATED TO THE REPLACEMENT NOTED ON SHEETS A1.1 AND A1.2. G.C. TO CONTACT ARCHITECT FOR REVIEW OF THE EXISTING DECKING CONDITION AND PROVIDE A MINIMUM OF 24 HR NOTICE.
E.	BEGIN THE ROOF INSTALLATION ONLY IN THE PRESENCE OF THE MANUFACTURER'S REPRESENTATIVE. ALL WORK SHALL BE PROTECTED AND MAINTAINED ACCORDING TO THE PROJECT DRAWINGS, SPECIFICATIONS, MANUFACTURER'S STANDARD SPECIFICATIONS AND INSTALLATION GUIDELINES AS THE WORK PROGRESSES. CLEAN, PRIME, AND PREPARE SUBSTRATES PER MANUFACTURERS RECOMMENDATIONS AND MINIMIZE SEAMS TO SHED WATER.
F.	THE MANUFACTURER'S STANDARD DETAILS AND SPECIFICATIONS, WHEN APPROVED BY THE OWNER, SHALL BECOME THE BASIS FOR ACCEPTING OR REJECTING THE ACTUAL INSTALLATION OF THE ROOF SYSTEM. UPON COMPLETION OF THE WORK, THE MANUFACTURER SHALL EXAMINE THE COMPLETED INSTALLATION FOR COMPLIANCE WITH ALL WARRANTY REQUIREMENTS.
G.	THE WORK INCLUDES BUT IS NOT LIMITED TO, MEMBRANE PENETRATIONS, FLASHINGS, ROOF DRAINS, INSULATION, COPINGS, AND PITCH POCKETS. MANUFACTURER SHALL PROVIDE THEIR WRITTEN CONFIRMATION OF ACCEPTANCE OF NEW ROOFING SYSTEM.
H.	THE G.C. AND THE ROOFING SUBCONTRACTOR SHALL INSPECT THE SUBSTRATE AND REPORT ANY UNSATISFACTORY CONDITIONS IN WRITING TO THE OWNER. BEGINNING THE WORK MEANS ACCEPTANCE OF THE SUBSTRATE.
I.	INSTALL ROOF INSULATION WITH TIGHTLY BUTTED JOINTS AND NEATLY FITTED AROUND ALL PENETRATIONS.
J.	ALL WOOD BLOCKING IS TO BE PRESSURE TREATED (P.T.) AND LAGGED TO THE ROOF DECK OR FASTENED WITH GALVANIZED NAILS. THICKNESS OF BLOCKING SHALL MATCH THAT OF INSULATION. COMPLY WITH ANY ADDITIONAL MANUFACTURER'S STANDARDS.
K.	G.C. TO COORDINATE ALL FASTENER LENGTHS TO ENSURE THAT NO FASTENERS PENETRATE THROUGH TO THE UNDERSIDE OF THE STRUCTURAL WOOD DECKING.
L.	APPROXIMATELY 1/8" DIAMETER BEAD OF SEALANT IS REQUIRED ON CUT EDGES REINFORCED TPO MEMBRANE
M.	FASTEN ALL METAL FLASHING TO WOOD NAILERS USING 1-1/2" MIN. RING SHANK NAILS SPACED 6" ON CENTER AND STAGGERED APPROXIMATELY 1/2"
N.	METAL FLASHING DECK FLANGE MUST BE TOTALLY COVERED BY TPO PRESSURE-SENSITIVE COVER STRIP WITH MINIMUM 2" COVERAGE PAST NAIL HEADS
O.	APPLY TPO PRIMER TO METAL FLANGE AND MEMBRANE SURFACE PRIOR TO INSTALLING TPO PRESSURE-SENSITIVE COVER STRIP
P.	PIPE FLASHING - REMOVE ALL EXISTING FLASHING MATERIAL BEFORE INSTALLING PRE-MOLDED PIPE FLASHING
Q.	PIPE FLASHING - INSTALL A MINIMUM OF 4 FASTENERS AND PLATES AROUND THE PIPE, EQUALLY SPACED. IF FASTENERS AND PLATES CANNOT BE INSTALLED, THEY MAY BE POSITIONED OUTSIDE THE PIPE MAXIMUM 12" O.C. AND FLASHED WITH THERMOPLASTIC REINFORCED MEMBRANE/ CUT-OFF SEALANT
R.	REMOVE AND REPLACE EXISTING DAMAGED WOOD FASCIAS AND SOFFITS. INSTALL 1 COAT PRIMER, 2 COATS FINISH PAINT AND BACK PRIME TO MATCH EXISTING. G.C. TO FIELD VERIFY.
S.	BEFORE REMOVING ANY ROOF PENETRATIONS AND EQUIPMENT, G.C. TO VERIFY THAT EQUIPMENT IS DISCONNECTED.
T.	G.C. TO PROTECT AND MAINTAIN WEEP HOLES IN MASONRY FAÇADE TO ENSURE ADEQUATE DRAINAGE.
U.	G.C. TO REINSTALL EXISTING EXHAUST/INTAKE HOODS. PROVIDE ELECTRICAL DISCONNECTS AS REQUIRED.

STATION 5 ROOF REPLACEMENT

CITY OF PAWTUCKET
 301 SMITHFIELD AVENUE
 PAWTUCKET/RI 02860

REVISIONS:

(1)	11.21.13	GENERAL REVISIONS TO NOTES
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SCALE: AS NOTED
 DATE: 11.05.13
 DRAWN BY: NJV
 JOB NUMBER: 130-13

DRAWING NAME:
ROOF PLAN, DETAIL AND NOTES

DRAWING NUMBER:

A1.1

COMMENTS:
 ISSUE FOR BID

